

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, November 15, 2021 - 4:30 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Work Session

1. Hold a work session with Robert Weinstein of WB Companies to discuss the potential development of a Mixed-Use Development (*i.e. Age Restricted Multi-Family Apartments, Retail/Restaurant, and Office land use*) on a 12.1148-acre tract of land identified as Tract 2 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 4 (PD-4) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, and generally located in between Lakedale Drive and Becky Lane on the eastside of Ridge Road [FM-740].

III. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding possible sale/purchase/lease of real property off of John King Blvd pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
2. Discussion regarding the city's concession agreement with Harbor Bay Marina Corporation, pursuant to Section 551.071 (Consultation with Attorney).

IV. Adjourn Executive Session

V. Reconvene Public Meeting (6:00 P.M.)

VI. Invocation and Pledge of Allegiance - Councilmember Macalik

VII. Proclamations / Awards / Recognitions

1. 'Happy 30th Anniversary, Rockwall County Sheriff's Posse' Day

VIII. Open Forum

This is a time for anyone to address the Council and public on any topic not already listed on the agenda or set for a public hearing. Per Council policy, public comments should be limited to three minutes out of respect for other citizens' time. If you have a topic that warrants longer time, please contact the City Secretary at kcole@rockwall.com to be placed on the Agenda during the "Appointment Items" portion of the meeting. This will allow your topic to be provided sufficient time for discussion and will permit proper notice to be given to the public. On topics raised during Open Forum, please know Council is not permitted to respond to your comments during the meeting since the topic has not been specifically listed on the agenda (the Texas Open Meetings Act requires that topics of discussion/deliberation be posted on an agenda not less than 72 hours in advance of the Council meeting). This, in part, is so that other citizens who may have the same concern may also be involved in the discussion.

IX. Take any Action as a Result of Executive Session

X. Consent Agenda

These agenda items are routine/administrative in nature, have previously been discussed at a prior City Council meeting, and/or they do not warrant Council deliberation. If you would like to discuss one of these items, please let the City Secretary know before the meeting starts so that you may speak during "Open Forum."

1. Consider approval of the minutes from the November 1, 2021 regular city council meeting, and take any action necessary.

2. **P2021-053** - Consider a request by Cameron Slown of Teague, Nall & Perkins, Inc. on behalf of Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a *Final Plat* for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.
3. **P2021-054** - Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Suresh Shridharani of Harlan Properties, Inc. for the approval of a *Final Plat* for the Emerson Farms Subdivision consisting of 107 single-family residential lots on a 138.756-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of Dowell Road and SH-276, and take any action necessary.
4. **P2021-055** - Consider a request Ryan King of Engineering Concepts & Design on behalf of Jose Campos of Saddle Star South Holdings, LLC for the approval of a *Final Plat* for Phase 2 of the Saddle Star Subdivision consisting of 77 single-family residential lots on a 29.001-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard, and take any action necessary.
5. **P2021-056** - Consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Bill Gietema of Arcadia Lakes of Somerset Holdings, LLC for the approval of a *Final Plat* for Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.
6. Consider a request by Nick Hobbs of BGE Engineering on behalf of Randall Schwimmer of Baker Schwimmer Ventures, LP for the approval of an *Alternative Tree Mitigation Settlement Agreement* associated with a *Warehouse/Distribution Facility* on a 23.071-acre tract of land identified as Tracts 25 & 25- 1, of the R. B. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the southside of the IH-30 Frontage Road east of the intersection of Corporate Crossing and IH-30, and take any action necessary.
7. Consider authorizing the City Manager to enter into the Standard Utility Agreement with Texas Department of Transportation for the IH-30 utility relocates from Dalrock Road to State Highway 205, and take any action necessary.
8. Consider approval of Engineering Service Agreement with Pipeline Analysis, LLC, to provide engineering services for Sanitary Sewer Condition Assessments and authorize the City Manager to execute a contract for \$156,830.00, to be funded by the Water and Sewer Fund, and take any action necessary.
9. Consider authorizing the City Manager to execute an agreement between the City of Rockwall and Rockwall County for Animal Control Services, and take any action necessary.

XI. Appointment Items

1. Appointment with Planning & Zoning Commission representative to discuss and answer any questions regarding planning-related cases on the agenda.

XII. Public Hearing Items

If you would like to speak regarding an item listed below, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. The Mayor or Mayor Pro Tem will call upon you to come forth at the proper time. Please limit your comments to no more than three minutes.

1. **Z2021-043** - Hold a public hearing to discuss and consider a request by Kenneth A. Selden on behalf of Johnathan Brown for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.426-acre tract of land identified as a portion of Lot 3, Block B, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 601 Kernodle Street, and take any action necessary **(1st Reading)**.
2. **Z2021-044** - Hold a public hearing to discuss and consider a request by Alex Flores for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary **(1st Reading)**.
3. **Z2021-045** - Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1102-acre parcel of land identified as a Lot 40 of the Chandler's Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 418 Columbia Drive, and take any action necessary **(1st Reading)**.
4. **Z2021-046** - Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing two (2) *Agricultural Accessory Buildings* and an *Animal Shelter/Loafing Shed* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary **(1st Reading)**.
5. **Z2021-047** - Hold a public hearing to discuss and consider a request by Andrea Danley on behalf of Mike Peoples for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing an *Animal Shelter/Loafing Shed* on a 14.219-acre tract of land identified as Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and take any action necessary **(1st Reading)**.

XIII. Action Items

If your comments are regarding an agenda item below, you are asked to wait until that particular agenda item is up for discussion, and the Mayor or Mayor Pro Tem will call you forth to the podium to hear your comments (please limit to 3 minutes or less). This allows for all public comments to be grouped with each specific agenda item for the Council to consider, and they are then easily referenced in meeting recordings.

1. Discuss and consider filling vacancy on the city's Architectural Review Board and (re)appointments to the Rockwall Economic Development Corporation (REDC), and take any action necessary.

XIV. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding possible sale/purchase/lease of real property off of John King Blvd pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
2. Discussion regarding the city's concession agreement with Harbor Bay Marina Corporation, pursuant to Section 551.071 (Consultation with Attorney).

XV. Reconvene Public Meeting & Take Any Action as Result of Executive Session

XVI. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 12th day of November, 2021 at 4 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary
or Margaret Delaney, Asst. to the City Sect.

Date Removed

Rockwall,  Texas

Proclamation

Whereas, the Rockwall County Sheriff's Posse was established in 1991 by former Rockwall County Sheriff, Jacques Kiere and Roy Hance; and

Whereas, the Sheriff's Posse is a corps of local horseback riders who regularly and proudly take part in parades and other special events held within the county; and

Whereas, members wear white and blue uniforms while mounted on horses and carrying the Texas and American flags in a powerful display of patriotism and Western heritage; and

Whereas, in addition to participating in ceremonial events, members of the Sheriff's Posse are trained in public safety and emergency response practices and are capable of taking their skills where vehicles can't go; and

Whereas, members of the Sheriff's Posse regularly assist the community through missing persons searches, rounding up loose livestock, and managing crowd control at events; and

Whereas, Sheriff's Posse members are well-trained and organized and have earned considerable acclaim across the great State of Texas, having previously won multiple awards at the Southwestern Exposition and Livestock Show Parade in Fort Worth; and

Whereas, for three decades, members of the Sheriff's Posse have proudly represented their county at public events while also standing ready to aid law enforcement when needed, such as in 2003 when they helped recover debris from the space shuttle "Columbia" crash in East Texas.

Now, Therefore, I, Kevin Fowler, Mayor of the City of Rockwall, Texas, do hereby proclaim **November 15, 2021** as

"Happy 30th Anniversary, Rockwall Co. Sheriff's Posse!" Day

in the City of Rockwall and encourage all citizens to help celebrate this milestone and applaud the Rockwall County Sheriff's Posse for its many contributions throughout the last thirty years.

In Witness Whereof, I hereunto set my hand and official seal on this 15th day of November 2021.

Kevin Fowler, Mayor

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, November 01, 2021 - 4:30 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Fowler called the public meeting to order at 4:30 p.m. Present were Mayor Kevin Fowler, Mayor Pro Tem John Hohenshelt, and Councilmembers Clarence Jorif, Dana Macalik, Trace Johannesen, Bennie Daniels and Anna Campbell. Also present were Assistant City Manager Joey Boyd and City Attorney Frank Garza. City Manager, Mary Smith was absent from the meeting.

II. WORK SESSION

1. Hold work session with representative(s) of Star Transit to hear and discuss update on most recent Strategic Planning Session results, an overview of the organization's upcoming goals and plans, and a financial update.

Councilmember Macalik provided brief, introductory comments regarding this work session item. She introduced Tommy Henricks, Executive Director of STAR Transit, who went on to provide a presentation to the Council. Following his presentation, Councilmember Macalik mentioned that Mr. Henricks was previously the Finance Director at Star Transit before being promoted to the Executive Director/CEO position about a year to a year-and-a-half ago. Mayor Fowler provided brief comments too, generally complimenting Mr. Henricks on his work on behalf of the organization and indicating that he has noticed improvement in the organization since Mr. Henricks assumed the lead role. Council took no action as a result of this work session item.

Mayor Fowler then read the below-listed discussion items into the record before recessing the public meeting to go into Executive Session at 4:47 p.m.

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding possible sale/purchase/lease of real property off of John King Blvd pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
2. Discussion regarding candidates and associated election for the Rockwall Central Appraisal District (CAD) Board of Directors, pursuant to Section 551.074 (personnel matters)
3. **ACTION ITEM #2** - Discuss and consider approval of a resolution adopting the allocation method for Opioid settlement proceeds as set forth in the State of Texas Political Subdivisions' Opioid Abatement Fund and Settlement Allocation Term Sheet, and take any action necessary (pursuant to Section 551.071 (Consultation with Attorney).

IV. ADJOURN EXECUTIVE SESSION

Council adjourned from Ex. Session at 5:20 p.m.

V. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Fowler reconvened the public meeting at 6:00 p.m. with all seven council members being present. Members of the city's Youth Advisory Council (YAC) were also in attendance and were seated at the dais with members of Council and with staff.

VI. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER JORIF

Councilmember Jorif delivered the invocation and led the Pledge of Allegiance.

VII. OPEN FORUM

**Roy Kuipers
333 Yacht Club Drive
Rockwall, TX 75032**

Mr. Kuipers came forth and shared that he is here to support Suntex Marina on the work that they have done. He would like some guidance on what might be able to be done to protect the lake views within the Chandlers Landing Community moving forward.

Jim Pruitt (former City of Rockwall mayor) and Cliff Sevier (current Rockwall County Commissioner) came forth and spoke about redistricting options/consideration of traditional city boundaries as related to elections. Pruitt indicated that the representative who is in charge of (re)districting has 'gone silent' related to Rockwall County. He spoke about how the County of Rockwall has grown (rapidly) over the course of the last ten years and how the City of Rockwall has historically been split into all four County Commissioner Precincts. Pruitt spoke about some of the rules related to (re)districting and 'urban' versus 'rural' districts as well as the current population of the City of Rockwall (47,251). He pointed out that the ideal population split for the City of Rockwall per precinct is 26,995. He stressed that redistricting is supposed to be about "population" – NOT about "voting." Pruitt stressed the importance of keeping Rockwall County in two precincts instead of splitting the county up into four, separate precincts. He urged the council and members of the public to email any comments to County Judge David Sweet and/or any of the Rockwall County Commissioners just as soon as possible (as this is a time-sensitive issue).

There being no one else wishing to come forth and speak, Mayor Fowler then closed Open Forum.

VIII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

No action was taken as a result of Executive Session.

IX. CONSENT AGENDA

- 1. Consider approval of the minutes from the October 18, 2021 regular City Council meeting, and take any action necessary.**
- 2. Consider approval of the engineering services and project management contract with Birkhoff, Hendricks and Carter, L.L.P., in the amount of \$60,500.00 to be funded by the Water/Sewer Fund for the Boydston Elevated Storage Tank Dismantling Project, and take any action necessary.**
- 3. Z2021-038 - Consider a request by Darrell McCallum for the approval of an ordinance for a Specific Use Permit (SUP) for a Detached Garage that exceeds the maximum permissible size for a detached garage**

on a 1.2080-acre parcel of land identified as Lot 6, Block A, Grady Rash Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family (SF-10) District, addressed as 1 Soapberry Lane, and take any action necessary **(2nd Reading)**.

4. **Z2021-039** - Consider a request by Peter Muhl of Rockwall Habitat for Humanity for the approval of an **ordinance** for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 888A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 305 Blanche Drive, and take any action necessary **(2nd Reading)**.
5. **Z2021-040** - Consider approval of an **ordinance** for a Text Amendment to Article 04, *Permissible Uses*, and Article 13, *Definitions*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of amending the *Permissible Use Charts* and definition for *Urban Residential*, and take any action necessary **(2nd Reading)**.
6. **Z2021-041** - Consider a request by Aaron Hawkins on behalf of Tim Thompson of Metroplex Acquisitions for the approval of an **ordinance** for a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with a Drive-Through or Drive-In* for the purpose of constructing a restaurant (*i.e. Salad and Go*) on a 0.81-acre portion of a larger 5.96-acre parcel of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within North SH-205 Overlay (N. SH-205 OV) District, generally located northeast of the intersection of N. Goliad Street [*SH-205*] and Bordeaux Drive, and take any action necessary **(2nd Reading)**.
7. **P2021-049** - Consider a request by Nick Hobbs of BGE Engineering on behalf of Randall Schwimmer of Baker Schwimmer Ventures, LP for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Seefried Addition being a 23.071-acre tract of land identified as Tracts 25 & 25-1, of the R. B. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the southside of the IH-30 Frontage Road east of the intersection of Corporate Crossing and IH-30, and take any action necessary.
8. **P2021-050** - Consider a request by Greg Chapa of Barton Chapa Surveying on behalf of JCDB Goliad Holdings, LLC for the approval of a Replat for Lots 2 & 3, Block A, Pecan Valley Retail Addition being a 2.174-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3005 N. Goliad Street [*SH-205*] and 150 Pecan Valley Drive, and take any action necessary.

Councilmember Macalik moved to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6, 7 and 8). Councilmember Jorif seconded the motion. The ordinance captions were read as follows:

**CITY OF ROCKWALL
ORDINANCE NO. 21-50
SPECIFIC USE PERMIT NO. S-258**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *DETACHED GARAGE* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE FOR A DETACHED GARAGE ON A 1.2080-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK A, GRADY RASH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE

SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-51
SPECIFIC USE PERMIT NO. S-259

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 888-A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-52

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 04, *PERMISSIBLE USES*, AND ARTICLE 13, *DEFINITIONS*, AS DEPCITED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-53
SPECIFIC USE PERMIT NO. S-260

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *A RESTAURANT LESS THAN 2,000 SF WITH DRIVE-THROUGH OR*

DRIVE-IN ON A 0.81-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 11, BLOCK A, STONE CREEK RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 7 ayes to 0 nays.

X. APPOINTMENT ITEMS

1. Appointment with Jim Rosenberg of Harbor Bay Marina to discuss marina upgrade/expansion plans and concession agreement, and take any action necessary.

Mr. Rosenberg came forth and thanked Joey Boyd, Assistant City Manager and Travis Sales, Parks Director, indicating that he has been working with these two staff members over the course of the last two years, and he is grateful for their assistance. He shared that he has owned Harbor Bay Marina for the last thirty-three years, and he has also developed other marinas. He explained that there is an existing concession agreement in place between his company and the City of Rockwall, and it is coming up for renewal this December. In addition, it is now time to upgrade the existing marina. He then made a presentation on his proposed redevelopment and expansion plans associated with the Harbor Bay Marina. In addition to all changes and upgrades to the docks, he is also proposing a parking lot expansion. He would like the Council to consider renewing the Concession Agreement for a period of twenty-five (25) years. He would also like modifications made to the parking-related aspects of the agreement to specify a parking ratio of 3.75 boat docks for every 1 parking spot.

On behalf of the residents and Homeowners Association (HOA) in Lakeside Village, Councilmember Daniels asked for the following things to be considered with the drafting of any updated / extended Concession Agreement:

- **He and the homeowners in the Lakeside Village subdivision would like a certain adjustment to the proposed lease boundary to leave the area around the peninsula (near Lakeside Village) clear and available for use by subdivision residents;**
- **They would like the tires removed by the end of the fifth year (rather than the end of the 6th year) (on a pro-rated basis over the course of the first five years);**
- **Regarding proposed visitor guidelines as related to people who come into the marina late at night (midnight, 1 AM, 2 AM, etc.) playing loud music and shining bright lights at the docks – he and the residents would like to see the boat ramp closed at a reasonable hour (perhaps by 11 PM at night) to cut down on loud nuisances and other, related disturbances;**
- **They would also like to see a ‘closing hour’ (perhaps midnight) for the areas where picnics and barbeques would be taking place;**
- **They also hope that the boat docks will be new (and not just refurbished) and in good working order;**

Discussion ensued related to the City of Dallas and its oversight on what will and will not be permitted or allowed regarding this marina.

Mayor Fowler shared that what is desired tonight – ultimately – is a motion to ask staff and the city attorney to proceed with working with Mr. Rosenberg to draft an updated concession agreement for Council’s future review and consideration.

Mayor Pro Tem Hohenshelt shared that twenty-five years is a very long time to enter into a concession agreement. He wonders if the term should be shorter. Following brief, additional discussion, Mayor Pro Tem Hohenshelt made a motion for staff to continue discussions and move forward with drafting a concession agreement for Council’s consideration. Councilmember Campbell seconded the motion, which passed by a vote of 7 ayes to 0 nays.

2. Follow-up appointment with representative(s) of Suntex RHCL Marina, LLC to hear plans for reconstruction of "H," "I," and "J" docks at the Chandler’s Landing Marina, and take any action necessary.

Jason Breland
1 Harbor View Drive
Rockwall, TX

Mr. Breland came forth and shared that his company has met with representatives of the Chandler’s Landing Marina and the sailing community, and the parties have come to an agreement on a revised plan associated with the proposed layout for the 2022 updates to the marina. He then went on to briefly describe what the layout will look like.

In response to comments made during Open Forum, Mayor Fowler asked Planning Director, Ryan Miller to look into possible ways that the city might protect the lake view corridors in and around this marina in the future.

Councilmember Macalik made a motion to approve the (revised) plans presented this evening by Suntex Marina. Councilmember Campbell seconded the motion, which passed by a vote of 7 ayes to 0 nays.

XI. ACTION ITEMS

1. Discuss and consider approval of a resolution providing for the casting of votes and submission of the official voting ballot to the Rockwall Central Appraisal District (CAD) for the 2022-2023 Appraisal District Board of Directors, and take any action necessary.

Mayor Fowler made a motion to adopt the resolution and allocate 454 votes to John Hohenshelt and one vote to Trace Johannesen. Councilmember Campbell seconded the motion, which passed by a vote of 7 ayes to 0 nays.

2. Discuss and consider approval of a resolution adopting the allocation method for Opioid settlement proceeds as set forth in the State of Texas Political Subdivisions’ Opioid Abatement Fund and Settlement Allocation Term Sheet, and take any action necessary.

City Attorney, Frank Garza provided brief background information concerning this agenda item. This topic is related to a lawsuit that has recently been settled within the State of Texas. \$114,308 is the City of Rockwall’s portion associated with the settlement agreement. The City

of Rockwall will need to agree to not sue the pharmaceutical companies in the future. Mr. Garza recommended that the Council pass the resolution, explaining that there is a chance that Rockwall's allocation may actually end up increasing in the future.

Councilmember Jorif made a motion to approve the resolution, as presented. Councilmember Macalik seconded the motion, which passed by a vote of 7 ayes to 0 nays.

XII. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

1. Building Inspections Monthly Report - September 2021
2. Fire Department Monthly Report - September 2021
3. Parks & Recreation Monthly Report - September 2021
4. Police Department Monthly Report - September 2021

Assistant City Manager, Joey Boyd said a few words, indicating that departmental reports have been included in the council members' informational packet for review. Staff is happy to answer any questions regarding those reports. No questions were asked, and no discussion took place.

XIII. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding possible sale/purchase/lease of real property off of John King Blvd pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney).
2. Discussion regarding candidates and associated election for the Rockwall Central Appraisal District (CAD) Board of Directors, pursuant to Section 551.074 (personnel matters)

XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council did not reconvene in Executive Session following the close of the public meeting agenda.

XV. ADJOURNMENT

Mayor Fowler adjourned the meeting at 7:07 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ON THIS 15th DAY OF NOVEMBER, 2021.

KEVIN FOWLER, MAYOR

ATTEST:

KRISTY COLE, CITY SECRETARY



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: P2021-053; FINAL PLAT FOR PHASE 1 OF THE DISCOVERY LAKES SUBDIVISION

Attachments

Case Memo
Development Application
Location Map
Final Plat

Summary/Background Information

Consider a request by Cameron Slown of Teague, Nall & Perkins, Inc. on behalf of Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a *Final Plat* for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Final Plat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Cameron Slown; *Teague, Nall and Perkins, Inc.*
CASE NUMBER: P2021-053; *Final Plat for Phase 1 of the Discovery Lakes Subdivision*

SUMMARY

Discuss and consider a request by Cameron Slown of Teague, Nall & Perkins, Inc. on behalf of Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Final Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 36.42-acre tract of land (*i.e.* a portion of *Tract 1 of the M. E. Hawkins Survey, Abstract No. 100*) for the purpose of establishing 31 single-family residential lots and one (1) common area lot (*i.e.* *Lots 1-9, Block A; Lots 1-5, Block B; Lots 1-11, Block C; Lots 1-7, Block D; Lot 1, Block E Discovery Lakes, Phase 1*). The common area (*i.e.* *Lot 1, Block E*) and Lot 9, Block A will be maintained by the Homeowner's Association (HOA).
- The subject property was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 5, 2005, the City Council approved *Ordinance No. 05-29 [Case No. Z2005-021]* changing the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District. On August 17, 2015, the zoning designation of the subject property was again changed by *Ordinance No. 15-24 [Case No. Z2015-016]* from a Light Industrial (LI) District to Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. The City Council approved Planned Development District 78 (PD-78) on August 3, 2020 [*Ordinance No. 20-27*]. On November 2, 2020, the City Council approved a preliminary plat [*Case No. P2020-040*] for the subject property. The proposed final plat conforms to this preliminary plat.
- On November 2, 2021, the Parks and Recreation Board reviewed the final plat and made the following recommendations concerning the proposed subdivision that is located within Park District No. 31:
 - (1) The developer shall pay pro-rata equipment fees of \$13,175.00 (*i.e.* \$425 x 31 lots), which will be due at the time of final plat.
 - (2) The developer shall pay cash-in-lieu of land fees of \$13,888.00 (*i.e.* \$448.00 x 31 lots), which will be due at the time of final plat.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to recommend approval of the Final Plat for *Phase 1 of Discovery Lakes*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021 the Planning and Zoning Commission approved a motion to approve the Final Plat with the conditions of approval by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre) ¹

Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)

Final Plat (\$300.00 + \$20.00 Acre) ¹ 300+20*36.42=\$1028.40

Replat (\$300.00 + \$20.00 Acre) ¹

Amending or Minor Plat (\$150.00)

Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre) ¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre) ¹

Specific Use Permit (\$200.00 + \$15.00 Acre) ¹

PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:
¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address none

Subdivision Discovery Lakes, Phase 1 Lot Block

General Location 36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-78 Current Use None

Proposed Zoning PD-78 Proposed Use Single Family Residential

Acreage 36.42 Lots [Current] 1 Lots [Proposed] 31

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC.	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

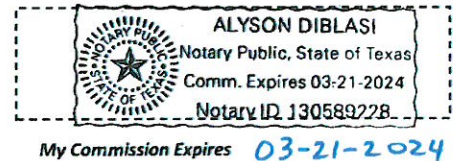
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$1028.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of October, 2021. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14th day of October, 2021

Owner's Signature

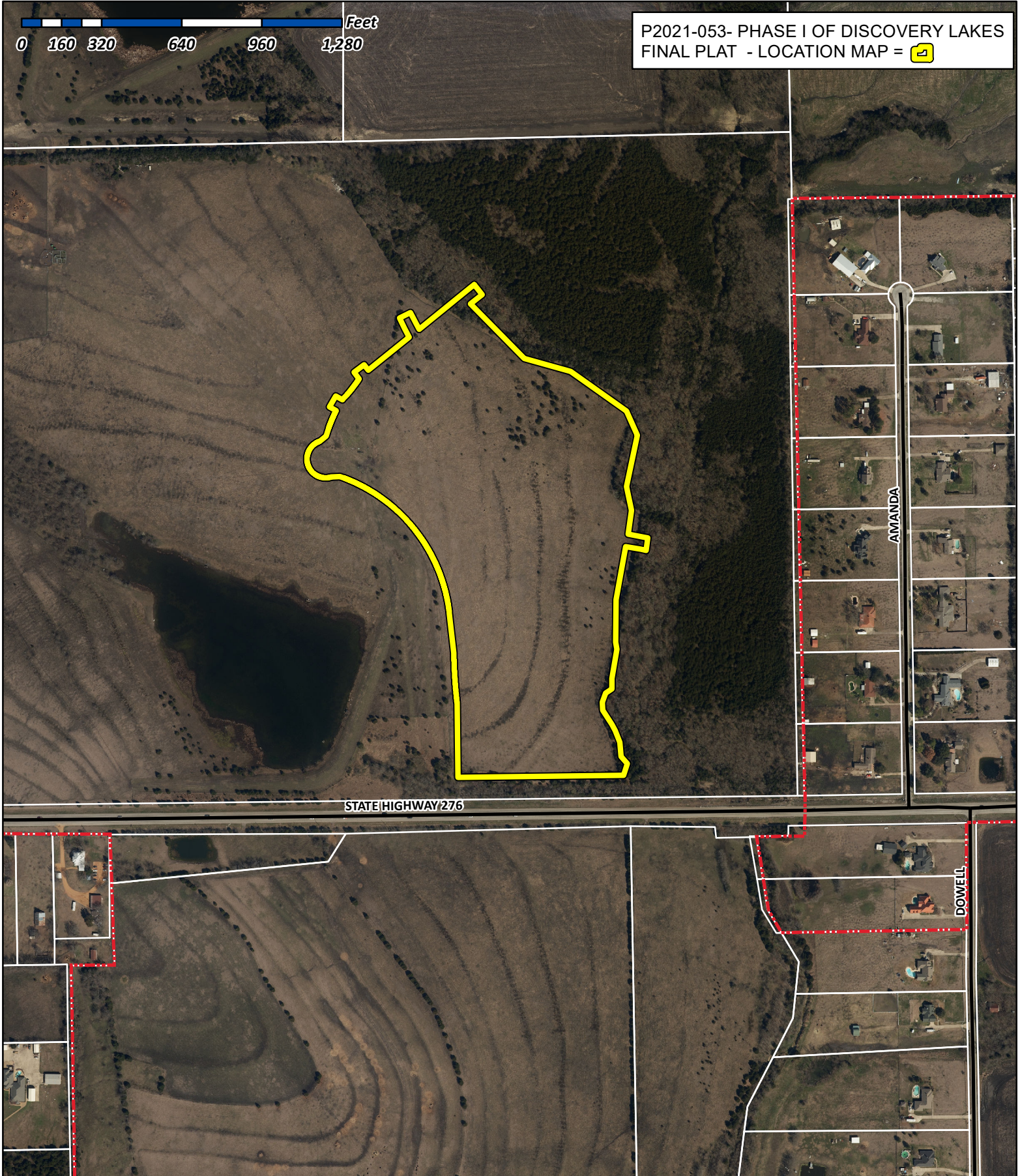
Notary Public in and for the State of Texas

Nick DiGiuseppe
Alyson Diblasi



0 160 320 640 960 1,280 Feet

P2021-053- PHASE I OF DISCOVERY LAKES
FINAL PLAT - LOCATION MAP = 

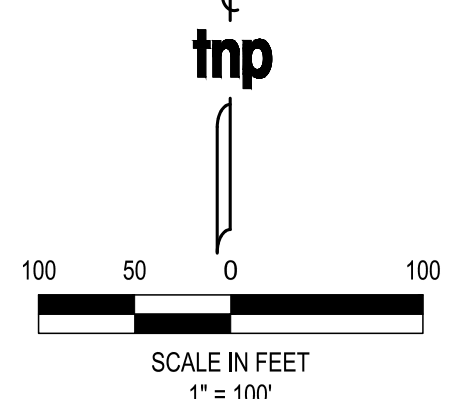
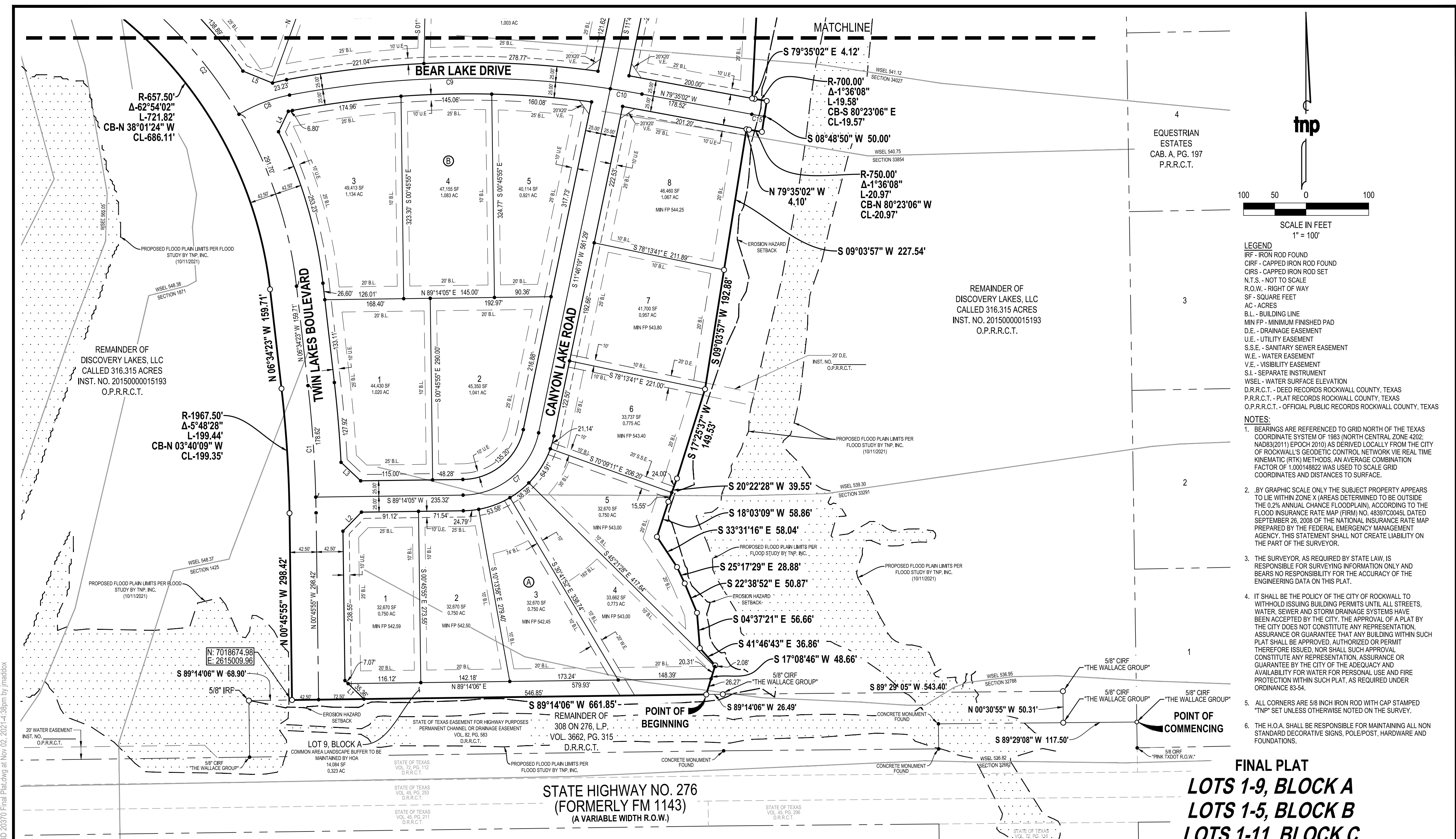


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- IRF - IRON ROD FOUND
 - CIRF - CAPPED IRON ROD FOUND
 - CIRS - CAPPED IRON ROD SET
 - N.T.S. - NOT TO SCALE
 - R.O.W. - RIGHT OF WAY
 - SF - SQUARE FEET
 - AC - ACRES
 - B.L. - BUILDING LINE
 - MIN FP - MINIMUM FINISHED PAD
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - S.S.E. - SANITARY SEWER EASEMENT
 - W.E. - WATER EASEMENT
 - V.E. - VISIBILITY EASEMENT
 - S.I. - SEPARATE INSTRUMENT
 - WSEL - WATER SURFACE ELEVATION
 - D.R.R.C.T. - DEED RECORDS ROCKWALL COUNTY, TEXAS
 - P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY, TEXAS
 - O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
- NOTES:**
1. BEARINGS ARE REFERENCED TO GRID NORTH OF THE TEXAS COORDINATE SYSTEM OF 1983 (NORTH CENTRAL ZONE 4202; NAD83(2011) EPOCH 2010) AS DERIVED LOCALLY FROM THE CITY OF ROCKWALL'S GEODETIC CONTROL NETWORK VIA REAL TIME KINEMATIC (RTK) METHODS. AN AVERAGE COMBINATION FACTOR OF 1.000148822 WAS USED TO SCALE GRID COORDINATES AND DISTANCES TO SURFACE.
 2. BY GRAPHIC SCALE ONLY THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) NO. 48397C0045L DATED SEPTEMBER 26, 2008 OF THE NATIONAL INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
 3. THE SURVEYOR, AS REQUIRED BY STATE LAW, IS RESPONSIBLE FOR SURVEYING INFORMATION ONLY AND BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THE ENGINEERING DATA ON THIS PLAT.
 4. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
 5. ALL CORNERS ARE 5/8 INCH IRON ROD WITH CAP STAMPED "TNP" SET UNLESS OTHERWISE NOTED ON THE SURVEY.
 6. THE H.O.A. SHALL BE RESPONSIBLE FOR MAINTAINING ALL NON STANDARD DECORATIVE SIGNS, POLE/POST, HARDWARE AND FOUNDATIONS.

REMAINDER OF DISCOVERY LAKES, LLC CALLED 316.315 ACRES INST. NO. 20150000015193 O.P.R.R.C.T.

REMAINDER OF DISCOVERY LAKES, LLC CALLED 316.315 ACRES INST. NO. 20150000015193 O.P.R.R.C.T.

R-1967.50'
Δ-5°48'28"
L-199.44'
CB-N 03°40'09" W
CL-199.35'

R-700.00'
Δ-1°36'08"
L-19.58'
CB-S 80°23'06" E
CL-19.57'

R-750.00'
Δ-1°36'08"
L-20.97'
CB-N 80°23'06" W
CL-20.97'

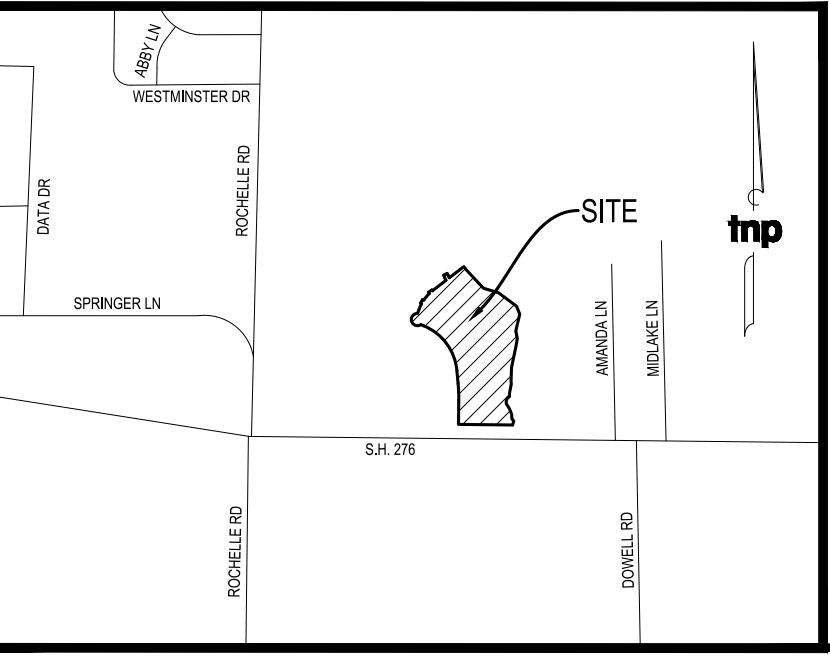
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FINAL PLAT
LOTS 1-9, BLOCK A
LOTS 1-5, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-7, BLOCK D
LOT 1, BLOCK E
DISCOVERY LAKES, PHASE 1

31 RESIDENTIAL LOTS
1 COMMON AREA
1,532,217 SQUARE FEET OR 35.175 ACRES

BEING A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NUMBER 100 AND IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

VICINITY MAP
N.T.S.



BOUNDARY CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	500.00'	3°24'58"	29.81'	N 61°39'03" W	29.81'
C2	550.00'	3°15'28"	31.27'	S 61°34'26" E	31.27'
C3	275.00'	3°23'37"	16.29'	N 38°52'27" W	16.29'
C4	800.00'	1°12'53"	16.96'	N 36°34'12" W	16.96'
C5	750.00'	1°17'11"	16.84'	S 36°32'03" E	16.84'
C6	225.00'	2°5'102"	11.19'	S 38°36'10" E	11.19'
C7	825.00'	2°4'112"	38.68'	N 27°51'01" W	38.68'
C8	775.00'	2°03'01"	27.73'	S 27°31'56" E	27.73'

CENTERLINE CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2010.00'	5°48'28"	203.75'	N 03°40'09" W	203.66'
C2	700.00'	62°54'02"	768.48'	N 38°01'24" W	730.46'
C3	500.00'	32°09'00"	280.56'	N 34°58'28" E	276.90'
C4	800.00'	4°11'32"	58.54'	N 28°36'12" W	58.52'
C5	800.00'	53°45'20"	750.57'	S 57°34'38" E	723.34'
C6	125.00'	96°13'37"	209.93'	S 35°20'29" E	186.12'
C7	125.00'	77°27'46"	169.00'	S 50°30'12" W	156.42'
C8	250.00'	19°54'26"	86.86'	N 69°14'35" E	86.43'
C9	1525.00'	19°20'58"	515.01'	N 88°52'17" E	512.56'
C10	1525.00'	1°55'29"	51.23'	S 80°29'30" E	51.22'
C11	250.00'	5°43'53"	25.01'	N 40°02'35" W	25.00'
C12	775.00'	1°14'58"	16.90'	N 36°33'09" W	16.90'
C13	525.00'	5°59'52"	54.96'	N 60°16'42" W	54.93'
C14	636.60'	1°44'11"	19.29'	N 51°30'08" E	19.29'
C15	725.00'	1°36'08"	20.27'	N 80°23'06" W	20.27'

LOT LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 45°45'54" W	42.43'
L2	N 44°14'05" E	42.43'
L3	S 46°40'27" E	43.09'
L4	N 25°32'51" E	36.15'
L5	N 67°57'06" W	51.01'
L6	N 45°33'50" W	36.57'
L7	N 12°32'02" W	34.13'

CENTERLINE LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 26°30'25" W	47.19'
L2	N 42°54'31" W	13.20'

LOT CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	75.00'	6°59'19"	9.15'	N 32°46'38" W	9.14'

OWNER
DISCOVERY LAKES, LLC
15400 Knoll Trail, Suite 230
Dallas, Texas 75248

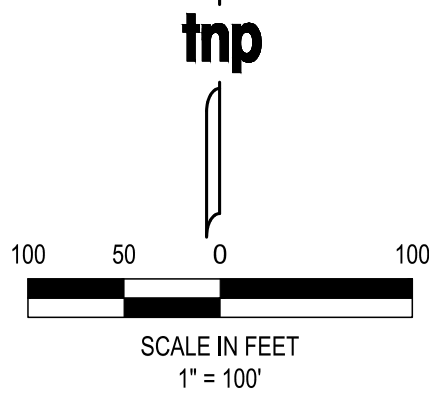
PROJECT INFORMATION
Project No.: SBD 20370
Date: October 26, 2021
Drawn By: WS
Scale: 1"=100'
SHEET 1 of 3



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnppinc.com

CASE NO. (P2021-053)

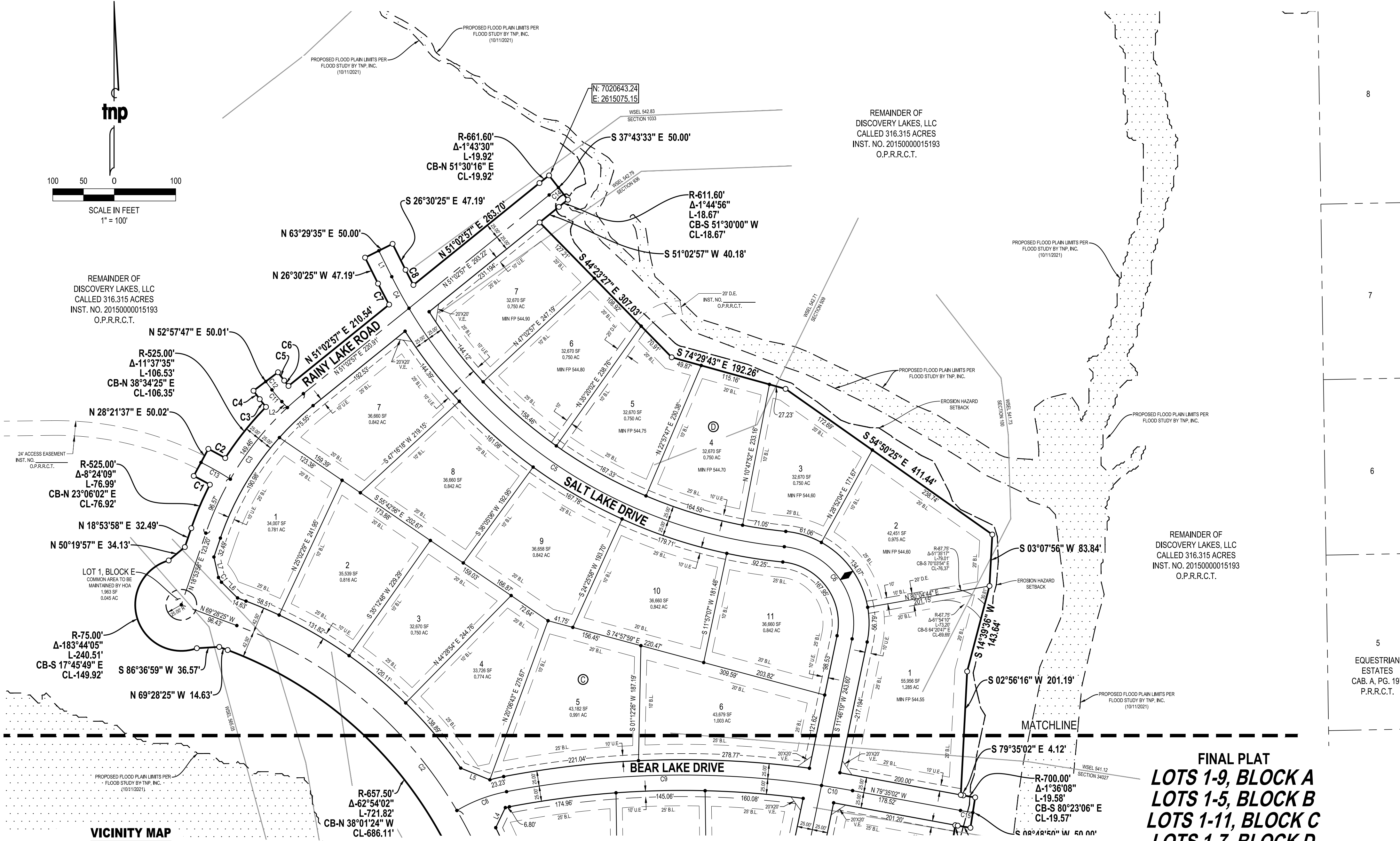
Drawing: C:\Users\jmadov\AppData\Local\Temp\AcPublish_11552021\11 01_SBD 20370 Final Plat.dwg at Nov 02, 2021 4:38pm by jmadov



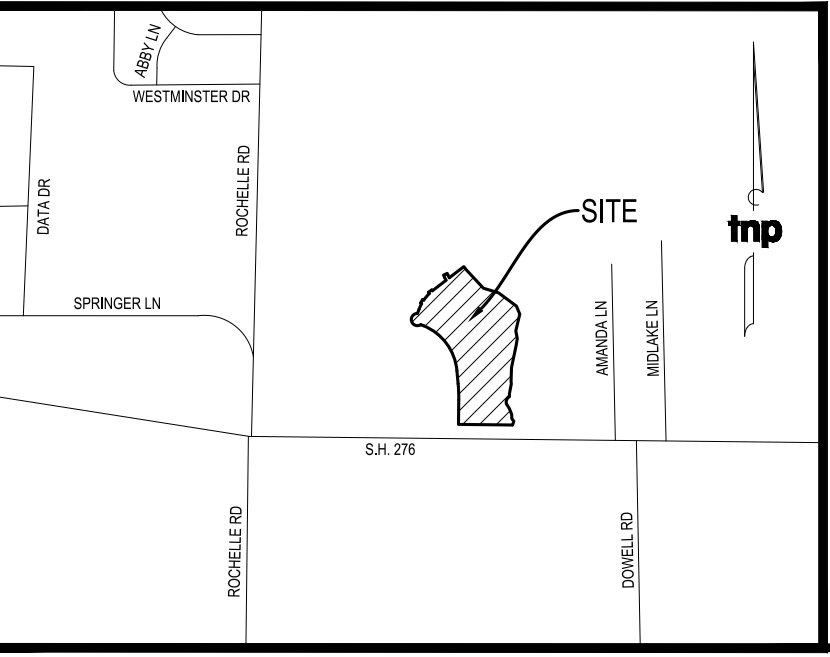
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INST. NO. 20150000015193
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N.T.S.



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FINAL PLAT
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LOTS 1-5, BLOCK B
LOTS 1-11, BLOCK C
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LOT 1, BLOCK E
DISCOVERY LAKES, PHASE 1

31 RESIDENTIAL LOTS
1 COMMON AREA
1,532,217 SQUARE FEET OR 35.175 ACRES

BEING A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NUMBER 100 AND IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
DISCOVERY LAKES, LLC
15400 Knoll Trail, Suite 230
Dallas, Texas 75248

PROJECT INFORMATION
Project No.: SBD 20370
Date: October 26, 2021
Drawn By: WS
Scale: 1"=100'
SHEET 2 of 3



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnppinc.com

CASE NO. (P2021-053)

Drawing: C:\Users\jmadrox\AppData\Local\Temp\AcP\Pub\11552021\11 01_SBD 20370 Final Plat.dwg at Nov 02, 2021 4:38pm by jmadrox

OWNERS CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Discovery Lakes, LLC is the owner of a called 33.662 acre tract of land in the M.E. Hawkins Survey, Abstract Number 100, in the City of Rockwall, Rockwall County, Texas, same being a portion of a called 316.315 acre tract to Discovery Lakes, LLC as recorded in Instrument Number 2015000015193 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8 inch iron rod with cap stamped "THE WALLACE GROUP" found on the north right-of-way of State Highway No. 276, a variable width right-of-way, same being the west line of Lot 1, Equestrian Estates, an addition to Rockwall County, Texas as recorded in Cabinet A, Page 197 of the Plat Records of Rockwall County, Texas for the southeast corner of said 316.315 acre tract;

THENCE South 89 degrees 29 minutes 08 seconds West, departing the west line of said Equestrian Estates and along the north right-of-way of said State Highway No. 276, same being the south line of said 316.315 acre tract, a distance of 117.50 feet to a 5/8 inch iron rod with cap stamped "THE WALLACE GROUP" found for corner;

THENCE North 00 degrees 30 minutes 55 seconds West, departing the north right-of-way of said State Highway No. 276 and continuing along the south line of said 316.315 acre tract, a distance of 50.31 feet to a 5/8 inch iron rod with cap stamped "THE WALLACE GROUP" found for corner;

THENCE South 89 degrees 29 minutes 05 seconds West, continuing along the south line of said 316.315 acre tract, a distance of 543.40 feet to a 5/8 inch iron rod with cap stamped "THE WALLACE GROUP" found for corner;

THENCE South 89 degrees 14 minutes 06 seconds West, continuing along the south line of said 316.315 acre tract, a distance of 26.49 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the POINT OF BEGINNING of the herein described tract;

THENCE South 89 degrees 14 minutes 06 seconds West, continuing along the south line of said 316.315 acre tract, a distance of 661.85 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner from which a 5/8 inch iron rod found for an ell corner of said 316.315 acre tract bears South 89 degrees 14 minutes 06 seconds West, a distance of 68.90 feet;

THENCE departing the south line of said 316.315 acre tract and through the interior of said 316.315 acre tract, the following courses and distances:

North 00 degrees 45 minutes 55 seconds West, a distance of 298.42 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 1967.50 feet, a central angle of 05 degrees 48 minutes 28 seconds, an arc length of 199.44 feet, a chord bearing of North 03 degrees 40 minutes 09 seconds West, a distance of 199.35 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 06 degrees 34 minutes 23 seconds West, a distance of 159.71 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 657.50 feet, a central angle of 62 degrees 54 minutes 02 seconds, an arc length of 721.82 feet, a chord bearing of North 38 degrees 01 minutes 24 seconds West, a distance of 686.11 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 69 degrees 28 minutes 25 seconds West, a distance of 14.63 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 86 degrees 36 minutes 59 seconds West, a distance of 36.57 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 75.00 feet, a central angle of 183 degrees 44 minutes 05 seconds, an arc length of 240.51 feet, a chord bearing of North 17 degrees 45 minutes 49 seconds West, a distance of 149.92 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 50 degrees 19 minutes 57 seconds East, a distance of 34.13 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 18 degrees 53 minutes 58 seconds East, a distance of 32.49 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 525.00 feet, a central angle of 08 degrees 24 minutes 09 seconds, an arc length of 76.99 feet, a chord bearing of North 23 degrees 06 minutes 02 seconds East, a distance of 76.92 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a reverse curve to the left;

With said reverse curve to the left having a radius of 500.00 feet, a central angle of 03 degrees 24 minutes 59 seconds, an arc length of 29.81 feet, a chord bearing of North 61 degrees 39 minutes 03 seconds West, a distance of 29.81 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 28 degrees 21 minutes 37 seconds East, a distance of 50.02 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 550.00 feet, a central angle of 03 degrees 15 minutes 28 seconds, an arc length of 31.27 feet, a chord bearing of South 61 degrees 34 minutes 26 seconds East, a distance of 31.27 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a compound curve continuing to the right;

With said compound curve continuing to the right having a radius of 525.00 feet, a central angle of 11 degrees 37 minutes 35 seconds, an arc length of 106.53 feet, a chord bearing of North 38 degrees 34 minutes 25 seconds East, a distance of 106.35 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a compound curve continuing to the right;

With said compound curve continuing to the right having a radius of 275.00 feet, a central angle of 03 degrees 23 minutes 37 seconds, an arc length of 16.29 feet, a chord bearing of North 38 degrees 52 minutes 27 seconds West, a distance of 16.29 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a compound curve continuing to the right;

With said compound curve continuing to the right having a radius of 800.00 feet, a central angle of 01 degrees 12 minutes 53 seconds, an arc length of 16.96 feet, a chord bearing of North 36 degrees 34 minutes 12 seconds West, a distance of 16.96 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 52 degrees 57 minutes 47 seconds East, a distance of 50.01 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 750.00 feet, a central angle of 01 degrees 17 minutes 11 seconds, an arc length of 16.84 feet, a chord bearing of South 36 degrees 32 minutes 03 seconds East, a distance of 16.84 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a compound curve continuing to the left;

With said compound curve continuing to the left having a radius of 225.00 feet, a central angle of 02 degrees 51 minutes 02 seconds, an arc length of 11.19 feet, a chord bearing of South 38 degrees 36 minutes 10 seconds East, a distance of 11.19 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 51 degrees 02 minutes 57 seconds East, a distance of 210.54 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 825.00 feet, a central angle of 02 degrees 41 minutes 12 seconds, an arc length of 38.68 feet, a chord bearing of North 27 degrees 51 minutes 01 seconds West, a distance of 38.68 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 26 degrees 30 minutes 25 seconds West, a distance of 47.19 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 63 degrees 29 minutes 35 seconds East, a distance of 50.00 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 26 degrees 30 minutes 25 seconds East, a distance of 47.19 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 775.00 feet, a central angle of 02 degrees 03 minutes 01 seconds, an arc length of 27.73 feet, a chord bearing of South 27 degrees 31 minutes 56 seconds East, a distance of 27.73 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 51 degrees 02 minutes 57 seconds East, a distance of 263.70 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 661.60 feet, a central angle of 01 degrees 43 minutes 30 seconds, an arc length of 19.92 feet, a chord bearing of North 51 degrees 30 minutes 16 seconds East, a distance of 19.92 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 37 degrees 43 minutes 33 seconds East, a distance of 50.00 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 611.60 feet, a central angle of 01 degrees 44 minutes 56 seconds, an arc length of 18.67 feet, a chord bearing of South 51 degrees 30 minutes 00 seconds West, a distance of 18.67 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 51 degrees 02 minutes 57 seconds West, a distance of 40.18 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 44 degrees 23 minutes 27 seconds East, a distance of 307.03 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 74 degrees 29 minutes 43 seconds East, a distance of 192.26 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 54 degrees 50 minutes 25 seconds East, a distance of 411.44 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 03 degrees 07 minutes 56 seconds West, a distance of 83.84 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 14 degrees 39 minutes 36 seconds West, a distance of 143.64 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 02 degrees 56 minutes 16 seconds West, a distance of 201.19 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 79 degrees 35 minutes 02 seconds East, a distance of 4.12 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the left;

With said curve to the left having a radius of 700.00 feet, a central angle of 01 degrees 36 minutes 08 seconds, an arc length of 19.58 feet, a chord bearing of South 80 degrees 23 minutes 06 seconds East, a distance of 19.57 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 08 degrees 48 minutes 50 seconds West, a distance of 50.00 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at the beginning of a curve to the right;

With said curve to the right having a radius of 750.00 feet, a central angle of 01 degrees 36 minutes 08 seconds, an arc length of 20.97 feet, a chord bearing of North 80 degrees 23 minutes 06 seconds West, a distance of 20.97 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

North 79 degrees 35 minutes 02 seconds West, a distance of 4.10 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 09 degrees 03 minutes 57 seconds West, a distance of 227.54 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 09 degrees 03 minutes 57 seconds West, a distance of 192.88 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 17 degrees 25 minutes 37 seconds West, a distance of 149.53 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 20 degrees 22 minutes 28 seconds West, a distance of 39.55 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 18 degrees 03 minutes 09 seconds West, a distance of 58.86 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 33 degrees 31 minutes 16 seconds East, a distance of 58.04 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 25 degrees 17 minutes 29 seconds East, a distance of 28.88 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 22 degrees 38 minutes 52 seconds East, a distance of 50.87 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 04 degrees 37 minutes 21 seconds East, a distance of 56.66 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 41 degrees 46 minutes 43 seconds East, a distance of 36.86 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 17 degrees 08 minutes 46 seconds West, a distance of 48.66 feet to the POINT OF BEGINNING containing 1,532,217 square feet, or 35.175 acres of land.

SURVEYOR'S CERTIFICATE

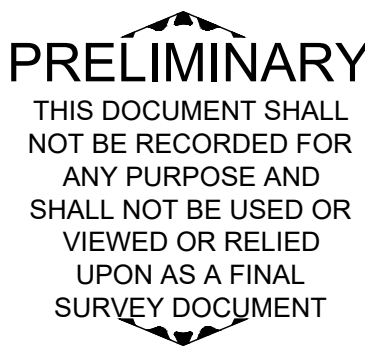
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Brian J. Maddox II, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 2021

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

BRIAN J. MADDOX II, R.P.L.S. NO. 6659



OWNERS DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS)
COUNTY OF ROCKWALL)

We, the undersigned owners of the land shown on this plat, and designated herein as Discovery Lakes, Phase 1 to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

7. Drainage/Retention Easements/Facilities shall be owned, operated, maintained and repaired by property owner.

Discovery Lakes, LLC

Representative: _____

STATE OF TEXAS)
COUNTY OF ROCKWALL)

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires: _____

FINAL PLAT
LOTS 1-9, BLOCK A
LOTS 1-5, BLOCK B
LOTS 1-11, BLOCK C
LOTS 1-7, BLOCK D
LOT 1, BLOCK E
DISCOVERY LAKES, PHASE 1

31 RESIDENTIAL LOTS
1 COMMON AREA
1,532,217 SQUARE FEET OR 35.175 ACRES

BEING A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NUMBER 100 AND IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER
DISCOVERY LAKES, LLC
15400 Knoll Trail, Suite 230
Dallas, Texas 75248

PROJECT INFORMATION
Project No.: SBD 20370
Date: October 26, 2021
Drawn By: WS
Scale: 1"=100'
SHEET 3 of 3



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
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214.461.9867 ph 214.461.9864 fx
T.B.P.L.S. Registration No. 10194381
www.tnpsc.com 20

CASE NO. (P2021-053)



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: P2021-054; FINAL PLAT FOR THE EMERSON FARMS SUBDIVISION

Attachments

Case Memo
Development Application
Location Map
Final Plat

Summary/Background Information

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Suresh Shridharani of Harlan Properties, Inc. for the approval of a *Final Plat* for the Emerson Farms Subdivision consisting of 107 single-family residential lots on a 138.756-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of Dowell Road and SH-276, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Final Plat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Chase Finch, *Corwin Engineering, Inc.*
CASE NUMBER: P2021-054; *Final Plat for the Emerson Farms Subdivision*

SUMMARY

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Suresh Shridharani of Harlan Properties, Inc. for the approval of a Final Plat for the Emerson Farms Subdivision consisting of 107 single-family residential lots on a 138.756- acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of Dowell Road and SH-276, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a Final Plat for a 138.756-acre parcel of land (*i.e. Tract 1 of the J. Lockhart Survey, Abstract No. 137*) for the purpose of establishing the Emerson Farms Subdivision. The single-family residential subdivision will be composed of 107 single-family homes zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses. The site is generally located on the east side of Dowell Road south of the intersection of Dowell Road and SH-276.
- ☑ The subject property was annexed into the City of Rockwall on December 22, 2008 by *Ordinance No. 08-65*. On November 3, 2014, the City Council approved *Ordinance No. 14-50 [Case No. Z2014-030]*, establishing the development standards for Planned Development District 76 (PD-76) [*i.e. the Emerson Farms Subdivision*]. On August 27, 2019, the Planning and Zoning commission approved a site plan [*Case No. 2019-034*] that tied down the subdivision amenities, landscaping, and hardscape.
- ☑ On November 2, 2021, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision.
 - (1) The property owner shall pay pro-rata equipment fees of \$45,475.00 (*i.e. \$425.00 x 107 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$47,936.00 (*i.e. \$448.00 x 107 Lots*), which will be due prior to the issuance of a building permit.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Final Plat for *Emerson Farms Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The final plat of land shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the *Final Plat* with the staff's recommendations by a vote of 5-0, with Council Members Moeller and Thomas absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-054

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address **East of Dowell Road and 2700' south of Hwy. 276**

Subdivision **Emerson Farms**

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage **138.756**

Lots [Current]

Lots [Proposed]

107

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **Harlan Properties, Inc.**

Applicant **Corwin Engineering, Inc.**

Contact Person **Suresh Shridharani**

Contact Person **Chase Finch**

Address **2404 Texas Drive, Ste. 103**

Address **200 W. Belmont, Ste. E**

City, State & Zip **Irving, Texas 75062**

City, State & Zip **Allen, Texas 75013**

Phone **972-659-0655 ext. 110**

Phone **469-879-9157**

E-Mail

E-Mail **cfinch@corwinengineering.com**

NOTARY VERIFICATION [REQUIRED]

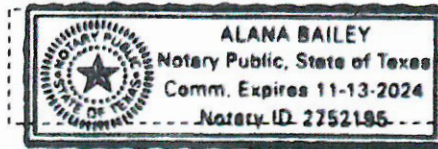
Before me, the undersigned authority, on this day personally appeared Suresh Shridharani [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct, and the application fee of \$ 3,075.12, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 21. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

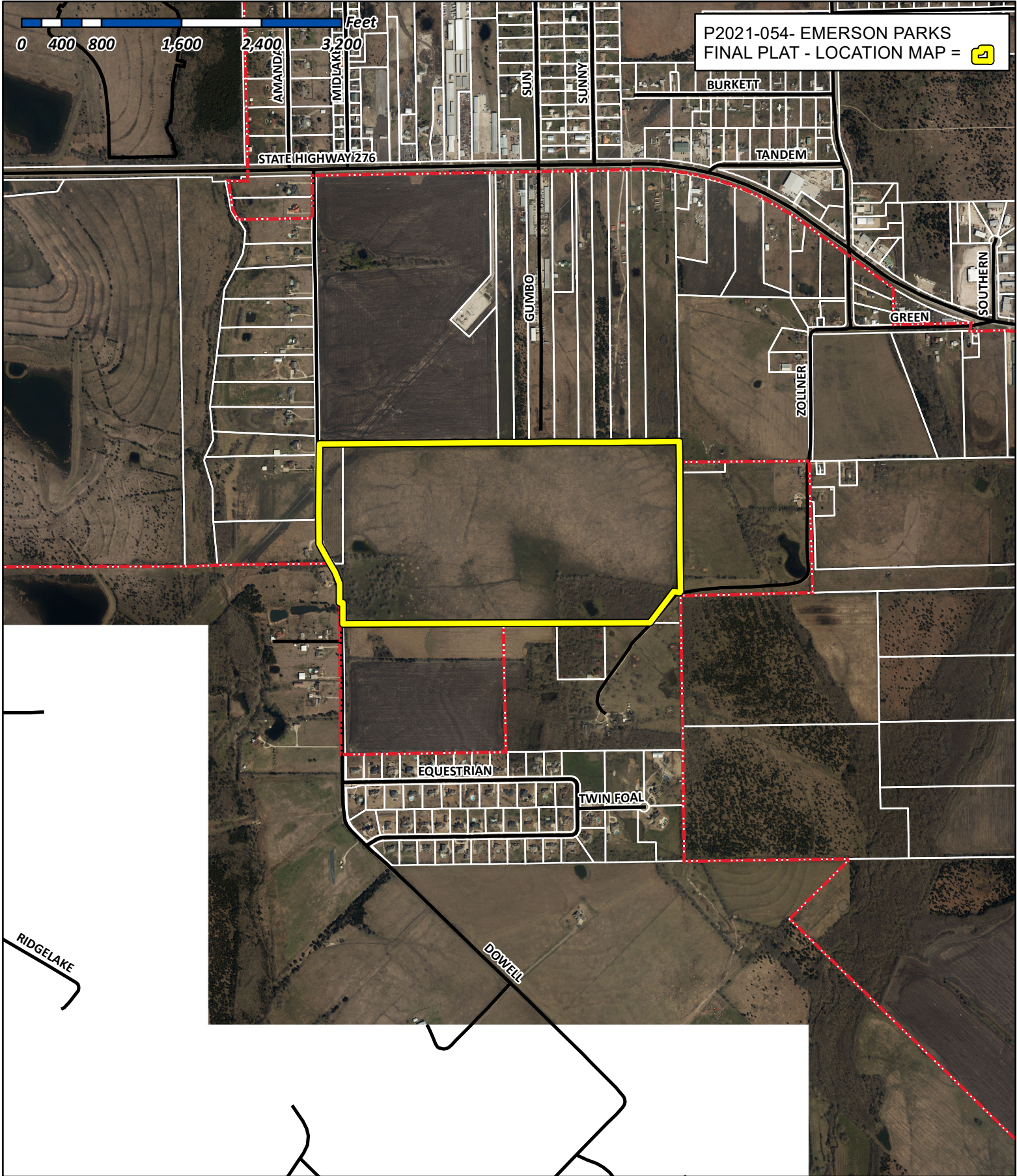
Given under my hand and seal of office on this the 12th day of October, 20 21.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires

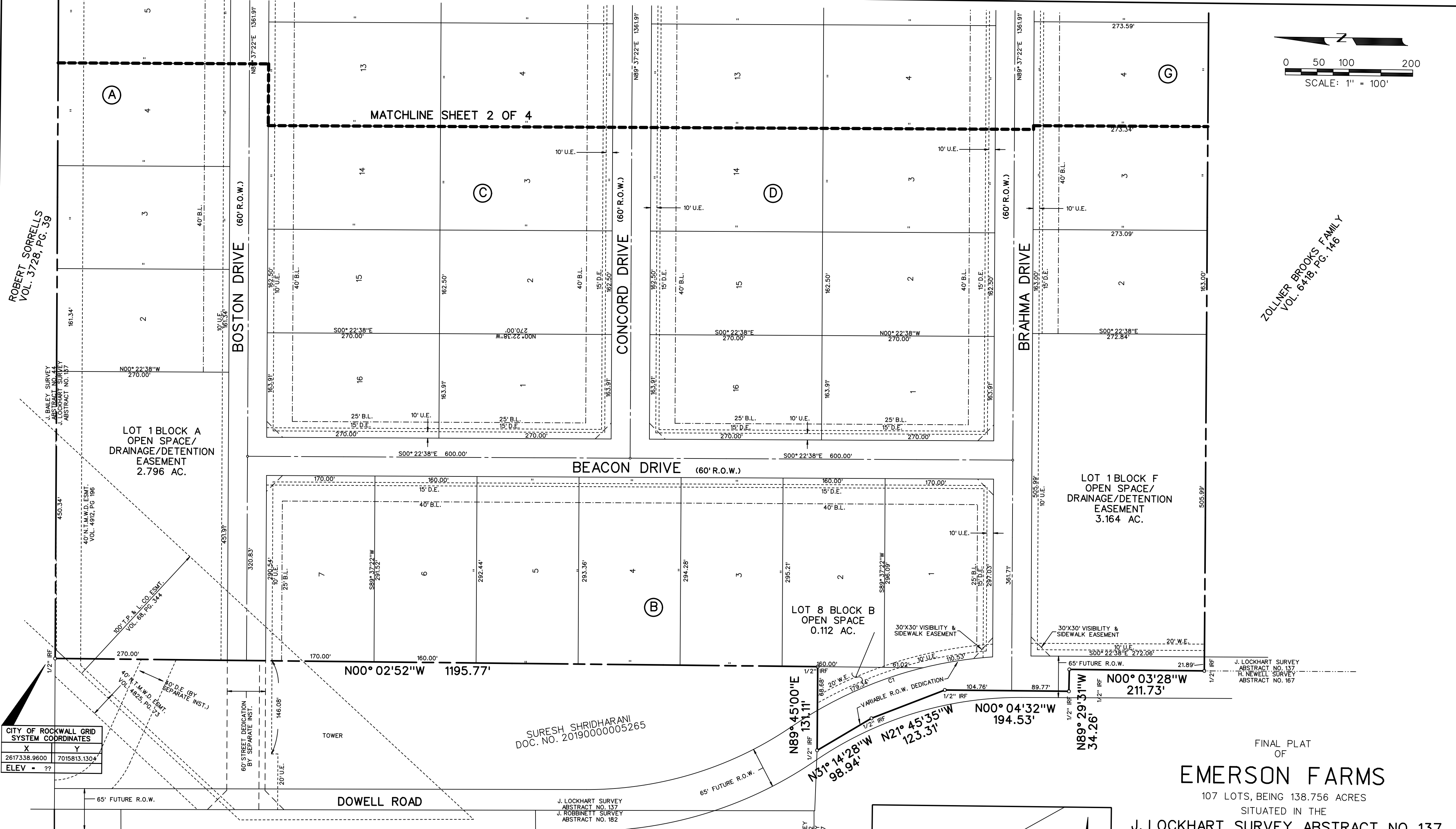


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





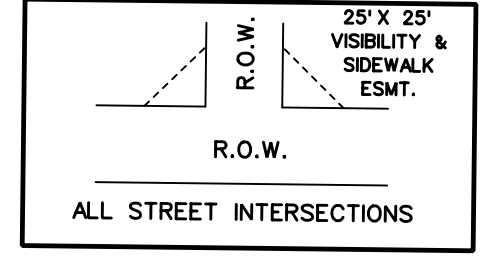
CITY OF ROCKWALL GRID SYSTEM COORDINATES

X	Y
2617338.9600	7015813.1304
ELEV = ??	

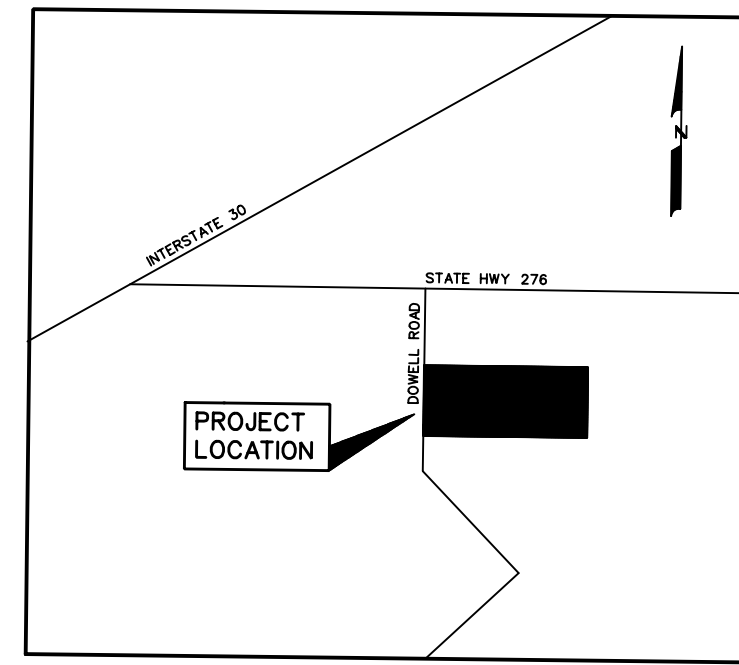
- NOTES**
- Bearings are referenced to a 138.79 acre tract, Doc. No. 20140000017662, in Deed Records of Rockwall County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
W.E. - Waterline Easement
V.A.M.S. - Visibility, Maintenance & Sidewalk Easement
- Street Name Change
 - The HOA will be responsible for maintaining the open space/drainage easement lots. (Lot 1, 18 Block A & Lot 1, 13 Block F)
 - Property owners shall be responsible for maintenance, repair, and reconstruction of drainage and detention easements on-site.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	26° 15' 31"	632.50'	289.87'	287.34'	N17° 39' 05" W



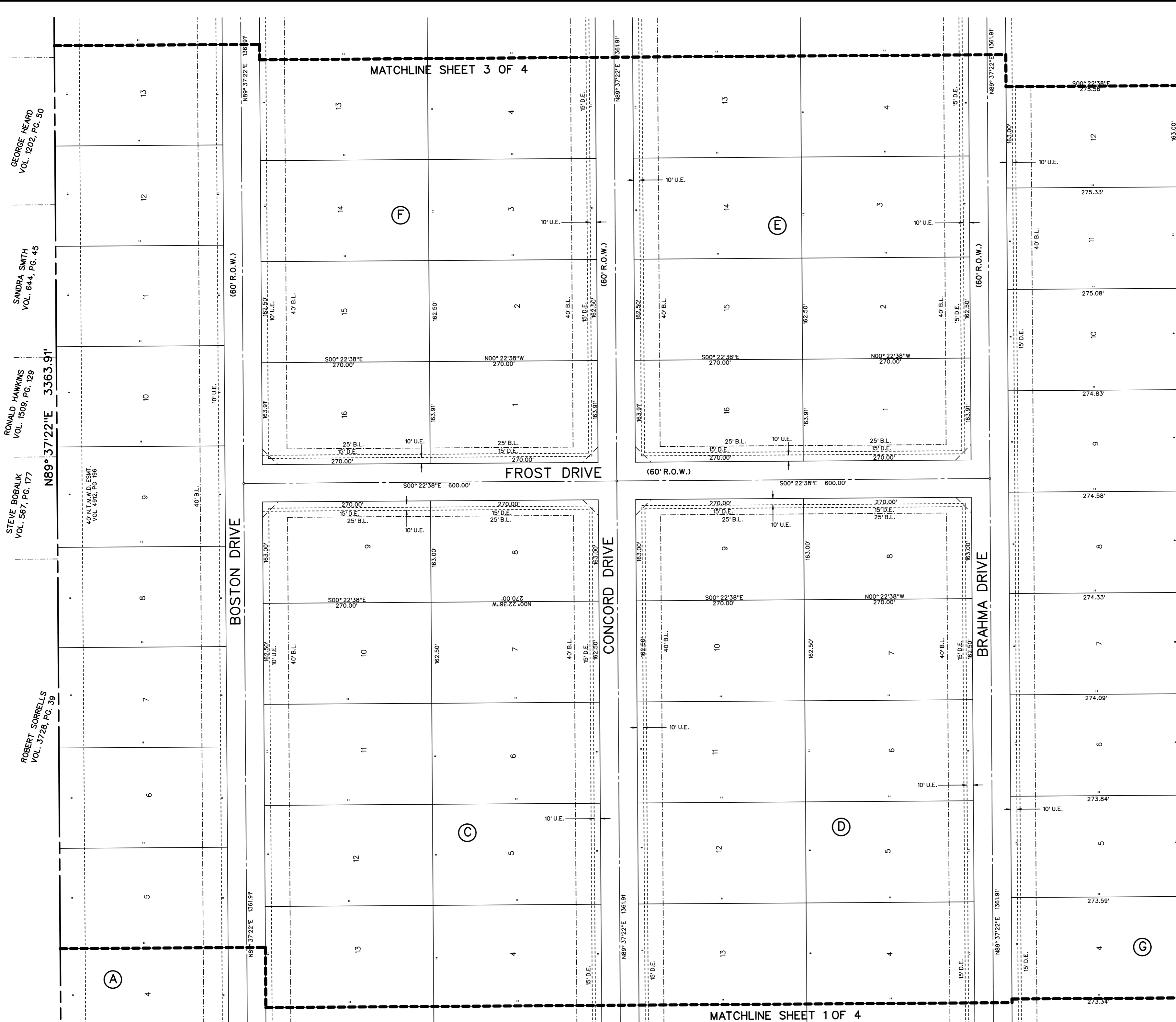
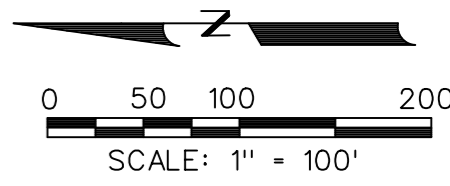
VISIBILITY & SIDEWALK EASEMENT DETAIL
N.T.S.



LOCATION MAP
N.T.S.

FINAL PLAT OF
EMERSON FARMS
 107 LOTS, BEING 138.756 ACRES
 SITUATED IN THE
J. LOCKHART SURVEY, ABSTRACT NO. 137
 IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 OWNER
HARLAN PROPERTIES, INC.
 2404 TEXAS DRIVE, SUITE 103
 IRVING, TEXAS 75062

OCTOBER 2021 SCALE 1" = 100'



ZOLLNER BROOKS FAMILY
VOL. 6418, PG. 146

FINAL PLAT
OF
EMERSON FARMS
107 LOTS, BEING 138.756 ACRES
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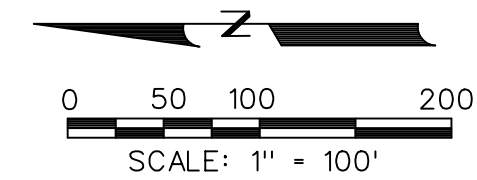
OCTOBER 2021 SCALE 1" = 100'

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 45° 22' 38" W	21.21'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	172° 49' 09"	60.00'	180.98'	119.76'	N44° 37' 22"E
2.	90° 00' 00"	20.00'	31.42'	28.28'	N44° 37' 22"E



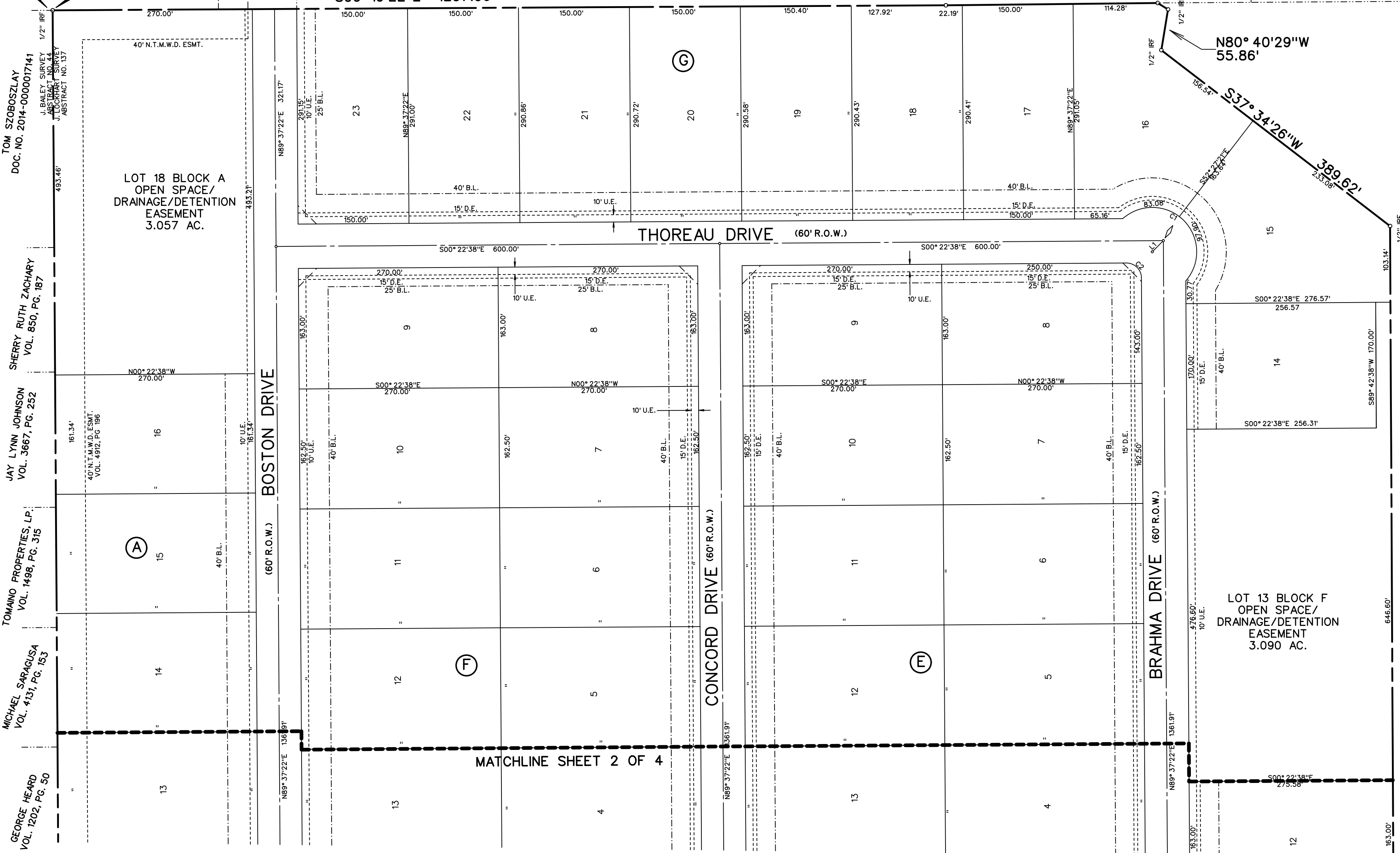
POINT OF BEGINNING

JERI SUE PIERRE
DOC. NO. 2017-000021485

CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2620700.8733	7015854.7476
ELEV = 544.6	

ZOLLNER BROOKS FAMILY
VOL. 6418, PG. 146

ZOLLNER BROOKS FAMILY
VOL. 6418, PG. 146



TOM SZOBOSZLAY
DOC. NO. 2014-0000017141

SHERRY RUTH ZACHARY
VOL. 850, PG. 187

JAY LYNN JOHNSON
VOL. 3667, PG. 252

TOMAINO PROPERTIES, LP
VOL. 1498, PG. 315

MICHAEL SARAGUSA
VOL. 413, PG. 153

GEORGE HEARD
VOL. 1202, PG. 50

ZOLLNER BROOKS FAMILY
VOL. 6418, PG. 146

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972-396-1200
OWNER
HARLAN PROPERTIES, INC.
2404 TEXAS DRIVE, SUITE 103
IRVING, TEXAS 75062

OCTOBER 2021 SCALE 1" = 100'

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the EMERSON FARMS, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the EMERSON FARMS, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. The detention drainage system is to be maintained, repaired and owned by the subdivision.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

HARLAN PROPERTIES, INC..

Suresh Shridharani
President

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared SURESH SHRIDHARANI, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2021.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Planning & Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Court Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Mayor, City of Rockwall City Secretary City Engineer

LEGAL DESCRIPTION

WHEREAS, HARLAN PROPERTIES, INC., is the owner of a tract of land situated in the J. Lockhart Survey, Abstract No. 137, in the City of Rockwall, Rockwall County, Texas, being all of a 138.79 acre tract, as recorded in Doc. No. 20140000017662 in the Official Public Records of Rockwall County, Texas, being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of said 138.79 acre tract;

THENCE, South 00°19'22" East, along the east line of said 138.79 acre tract, for a distance of 1207.96 feet, to a 1/2 inch iron rod found;

THENCE, South 00°37'17" East, continuing along said east line, for a distance of 286.47 feet, to a 1/2 inch iron rod found;

THENCE, South 31°44'42" West, continuing along said east line, for a distance of 16.52 feet, to a 1/2 inch iron rod found;

THENCE, North 80°40'29" West, continuing along said east line, for a distance of 55.86 feet, to a 1/2 inch iron rod found;

THENCE, South 37°34'26" West, continuing along said east line, for a distance of 389.62 feet, to a 1/2 inch iron rod found at the most southerly southeast corner of said 138.79 acre tract;

THENCE, South 89°42'38" West, along the south line of said 138.79 acre tract, for a distance of 3070.62 feet, to a 1/2 inch iron rod found at the most southerly southwest corner of said 138.79 acre tract;

THENCE, North 00°03'28" West, along the west line of said 138.79 acre tract, for a distance of 211.73 feet, to a 1/2 inch iron rod found;

THENCE, North 89°29'31" West, continuing along said west line, for a distance of 34.26 feet, to a 1/2 inch iron rod found;

THENCE, North 00°04'32" West, continuing along said west line, for a distance of 194.53 feet, to a 1/2 inch iron rod found;

THENCE, North 21°45'35" West, continuing along said west line, for a distance of 123.31 feet, to a 1/2 inch iron rod found;

THENCE, North 31°14'28" West, continuing along said west line, for a distance of 98.94 feet, to a 1/2 inch iron rod found;

THENCE, North 89°45'00" East, continuing along said west line, for a distance of 131.11 feet, to a 1/2 inch iron rod found;

THENCE, North 00°02'52" West, continuing along said west line, for a distance of 1195.77 feet, to a 1/2 inch iron rod found at the northwest corner of said 138.79 acre tract;

THENCE, North 89°37'22" East, along the north line of said 138.79 acre tract, for a distance of 3363.91 feet, to the POINT OF BEGINNING and containing 138.756 acres of land.

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this _____ day of _____, 2021.

THE STATE OF TEXAS WARREN L. CORWIN
COUNTY OF COLLIN R.P.L.S. No. 4621

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2021.

Notary Public in and for the State of Texas

FINAL PLAT OF EMERSON FARMS
107 LOTS, BEING 138.756 ACRES
SITUATED IN THE
J. LOCKHART SURVEY, ABSTRACT NO. 137
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OWNER
HARLAN PROPERTIES, INC.
2404 TEXAS DRIVE, SUITE 103
IRVING, TEXAS 75062
OCTOBER 2021



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: P2021-055; FINAL PLAT FOR PHASE 2 OF THE SADDLE STAR SUBDIVISION

Attachments

Case Memo
Development Application
Location Map
Final Plat
Closure Report

Summary/Background Information

Consider a request Ryan King of Engineering Concepts & Design on behalf of Jose Campos of Saddle Star South Holdings, LLC for the approval of a *Final Plat* for Phase 2 of the Saddle Star Subdivision consisting of 77 single-family residential lots on a 29.001-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Final Plat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Ryan King; *Teague, Engineering Concepts & Design*
CASE NUMBER: P2021-055; *Final Plat for Phase 2 of the Saddle Star Subdivision*

SUMMARY

Discuss and consider a request Ryan King of Engineering Concepts & Design on behalf of Jose Campos of Saddle Star South Holdings, LLC for the approval of a Final Plat for Phase 2 of the Saddle Star Subdivision consisting of 77 single-family residential lots on a 29.001-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard.

PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 29.001-acre tract of land (i.e. Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97) for the purpose of establishing 77 single-family residential lots and three (3) common areas (i.e. Lots 1-15, Block A; Lots 27-37, Block B; Lots 12-33, Block E; Lots 11-31, Block F; Lots 1-5, Block G; Lots 1-3, Block H; Lots 4-6, Block X Saddle Star Estates South, Phase 2). The common areas (i.e. Lots 4-6, Block X) will be maintained by the Homeowner's Association (HOA).
- On March 16, 1998, a 44.292-acre portion of the subject property was annexed [*Ordinance No. 98-10*] by the City Council. On January 4, 2016, the City Council approved Planned Development District 79 (PD-79) [*Case No. Z2015-034; Ordinance No. 16-07*], which rezoned this 44.292-acre tract of land from an Agricultural (AG) District to a Planned Development District for a single-family residential subdivision consisting of 113 single-family lots. On May 16, 2016 the City Council adopted *Ordinance No. 16-30* annexing an additional 11.121-acre portion of the subject property. On June 6, 2016, the City Council approved an amendment to Planned Development District 79 (PD-79) incorporating the additional 11.121-acre tract of land into the Planned Development District. This zoning change increased the number of lots permitted in the Planned Development District from 113 to 138. Following this approval, a preliminary plat [*Case No. P2016-024*] and master plat [*Case No. P2016-023*] were approved on August 15, 2016. On March 28, 2017, the applicant requested and was granted an extension to the preliminary plat [*Case No. P2017-014*]. Following this approval, the applicant final platted [*Case No. P2019-031*] Phase 1 of the Saddle Star South Subdivision on September 16, 2019. On January 22, 2019, the City Council annexed a 14.995-acre tract of land [*Ordinance No. 19-07*]. This was later incorporated into Planned Development District 79 (PD-79) on November 4, 2019, increasing the total acreage of the Planned Development District to 70.408-acres. This also increased the lot count from 138 lots to 176 lots. On February 18, 2020, the applicant amended the master plat [*Case No. P2020-006*] to incorporate Phase 3 into the subdivision; and, on December 21, 2020, the applicant amended the preliminary plat [*Case No. P2020-048*] to incorporate Phase 3 into the subdivision. The proposed final plat for Phase 2 of the Saddle Star Subdivision conforms to the approved preliminary plat.
- On November 2, 2021, the Parks and Recreation Board reviewed the final plat and made the following recommendations concerning the proposed subdivision that is located within Park District No. 6:
 - (1) The developer shall pay pro-rata equipment fees of \$71,687.00 (i.e. \$931.00 x 77 lots), which will be due at the time of final plat.

(2) The developer shall pay cash-in-lieu of land fees of \$75,768.00 (i.e. \$984.00 x 77 lots), which will be due at the time of final plat.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to recommend approval of the *Final Plat* for *Saddle Star Estates South, Phase 2*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021 the Planning and Zoning Commission approved a motion to approve the Final Plat with the conditions of approval by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2021-055

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]

CITY ENGINEER: [Signature]

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3076 Hays Rd

SUBDIVISION Saddle Star South Phase 2 LOT _____ BLOCK _____

GENERAL LOCATION Along John King Blvd, City of Rockwall, Rockwall County, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-79 CURRENT USE Residential

PROPOSED ZONING PD-79 PROPOSED USE Residential

ACREAGE 29.001 LOTS [CURRENT] 1 LOTS [PROPOSED] 77

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Saddle Star South Holdings, LLC APPLICANT Engineering Concepts & Design

CONTACT PERSON Jose Campos CONTACT PERSON Ryan King, P.E.

ADDRESS 2200 Ross Ave., Ste. 4200W ADDRESS 201 Windco Cir, STE 200

CITY, STATE & ZIP Dallas, TX 75201 CITY, STATE & ZIP Wylie, TX 75098

PHONE 214-716-2900 PHONE 972-941-8400

E-MAIL Jose.Campos@Hines.com E-MAIL Ryan@ecdpl.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose Campos [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

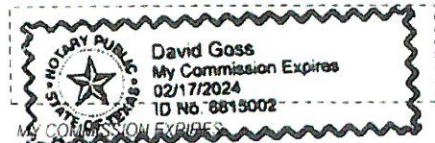
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ 880.02 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF October 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

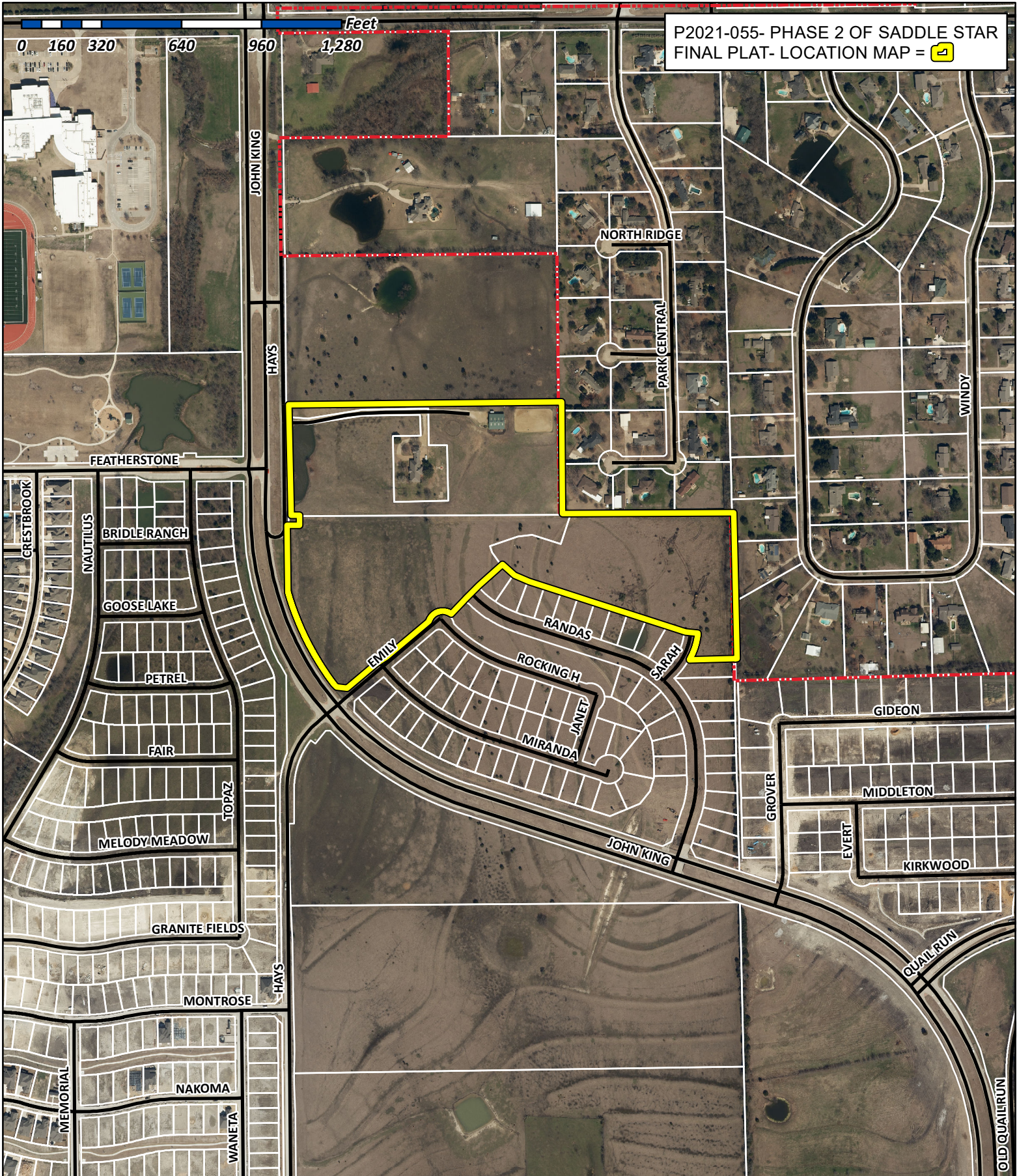
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October 2021

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





P2021-055- PHASE 2 OF SADDLE STAR
 FINAL PLAT- LOCATION MAP = [icon]

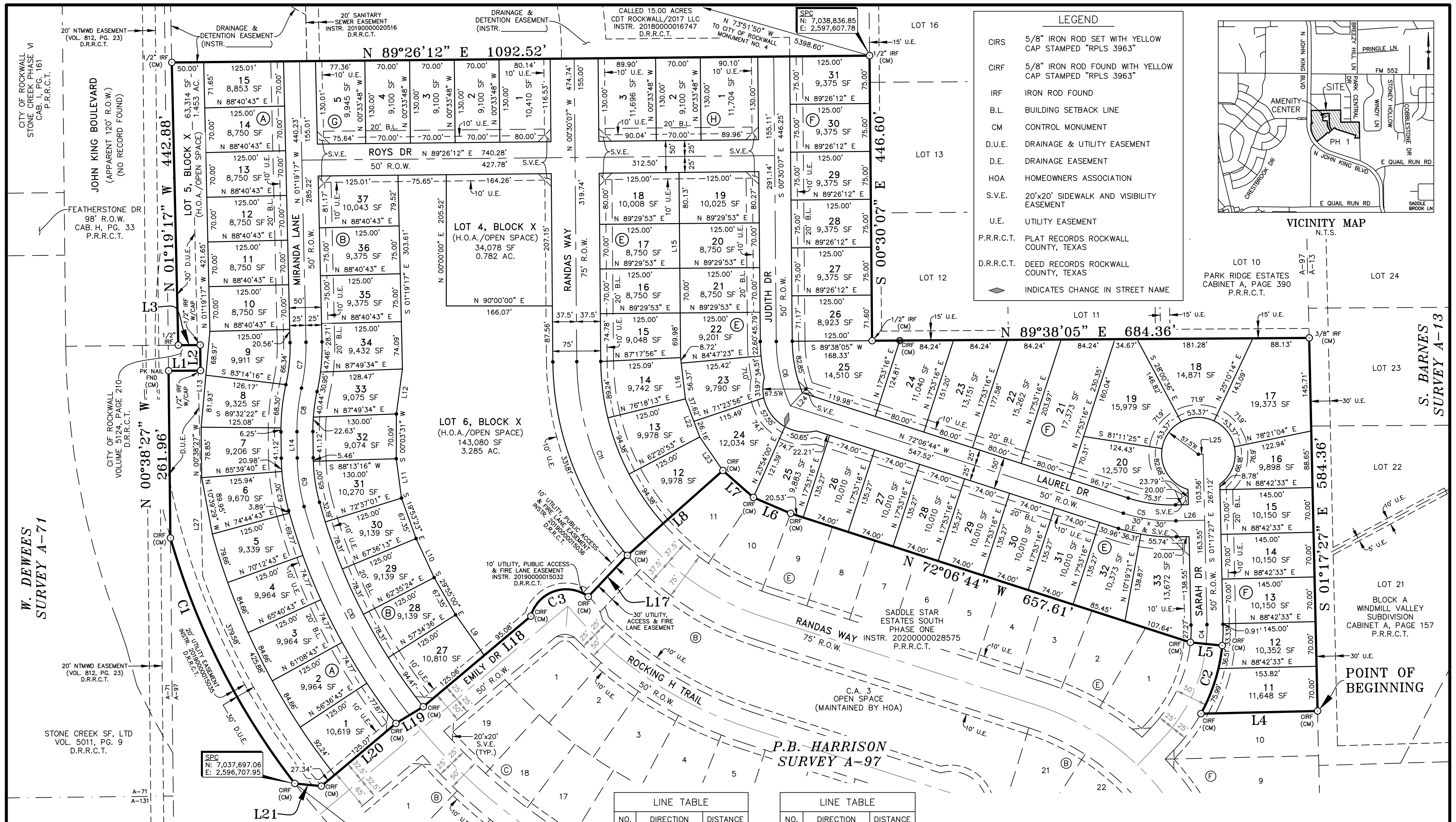


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

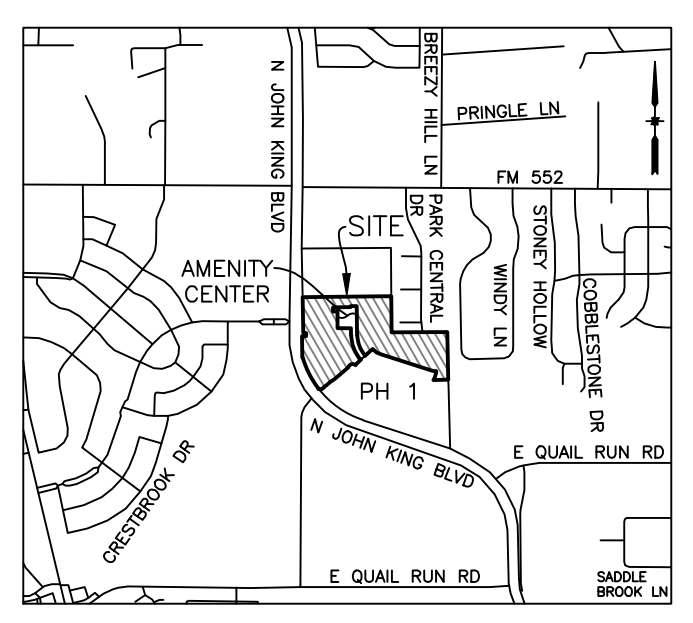
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- CIRS 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
- CIRF 5/8" IRON ROD FOUND WITH YELLOW CAP STAMPED "RPLS 3963"
- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- CM CONTROL MONUMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. 20'x20' SIDEWALK AND VISIBILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◆ INDICATES CHANGE IN STREET NAME



VICINITY MAP
N.T.S.

LOT 10 PARK RIDGE ESTATES CABINET A, PAGE 390 P.R.R.C.T.

LOT 24

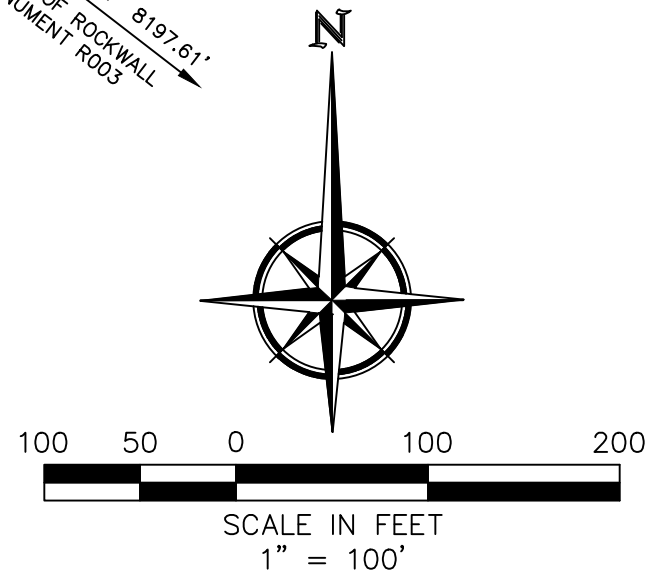
LOT 23

LOT 22

LOT 21 BLOCK A WINDMILL VALLEY SUBDIVISION CABINET A, PAGE 157 P.R.R.C.T.

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	21°47'11"	1140.00'	219.39'	433.48'	N 26°51'02" W	430.87'
C2	23°26'23"	275.00'	57.05'	112.50'	N 17°22'23" E	111.72'
C3	111°10'32"	57.50'	83.94'	111.57'	S 71°13'07" W	94.87'
C4	6°56'39"	250.00'	15.17'	30.30'	N 02°10'52" E	30.28'
C5	19°10'43"	250.00'	42.24'	83.68'	S 81°42'06" E	83.29'
C6	23°51'24"	250.00'	52.81'	104.09'	S 12°26'44" E	103.34'
C7	13°49'20"	300.00'	36.36'	72.37'	N 05°35'23" E	72.20'
C8	13°08'30"	300.00'	34.56'	68.81'	S 05°55'47" W	68.66'
C9	14°40'53"	300.00'	38.65'	76.87'	S 07°58'54" E	76.66'
C10	22°57'18"	920.00'	186.80'	368.59'	S 26°47'59" E	366.13'
C11	41°06'20"	425.00'	159.35'	304.91'	S 21°03'17" E	298.41'



LINE TABLE

NO.	DIRECTION	DISTANCE
L1	N 89°38'44" E	50.00'
L2	N 00°38'27" W	40.00'
L3	S 89°38'05" W	34.30'
L4	S 88°42'33" W	182.77'
L5	N 84°20'49" W	50.00'
L6	N 66°47'40" W	63.38'
L7	N 48°35'07" W	63.78'
L8	S 48°23'33" W	200.00'
L9	S 35°18'55" E	77.70'
L10	S 24°54'11" E	67.35'
L11	S 07°26'26" E	62.23'
L12	S 07°43'23" W	71.06'
L13	S 05°14'20" W	150.90'
L14	N 00°38'27" W	41.12'

LINE TABLE

NO.	DIRECTION	DISTANCE
L15	N 00°30'07" W	70.00'
L16	N 06°36'49" W	65.09'
L17	S 43°25'25" W	89.23'
L18	S 49°55'55" W	220.14'
L19	S 58°29'53" W	50.35'
L20	S 49°55'55" W	152.40'
L21	N 84°16'58" W	41.84'
L22	N 20°40'27" W	63.78'
L23	N 34°37'47" W	63.78'
L24	N 42°38'44" E	35.79'
L25	N 88°42'33" E	7.50'
L26	N 88°42'33" E	45.00'
L27	N 01°16'32" W	321.91'

OWNERS
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

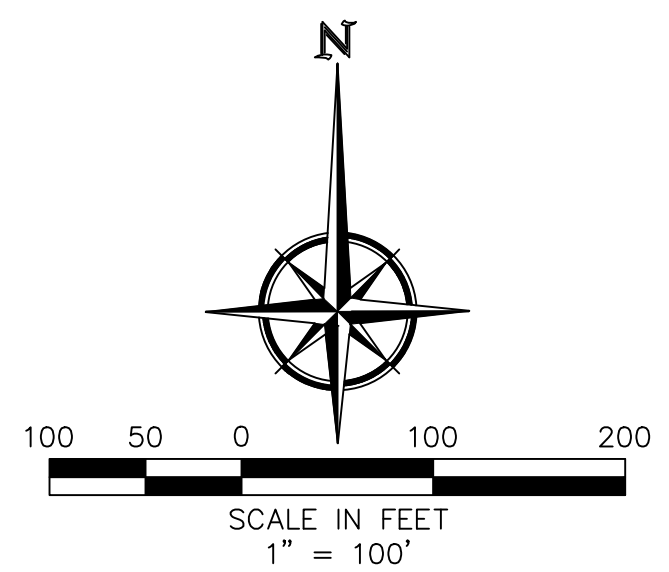
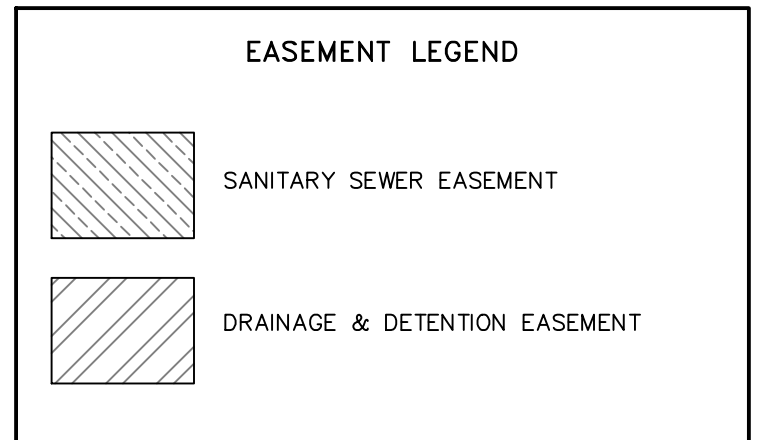
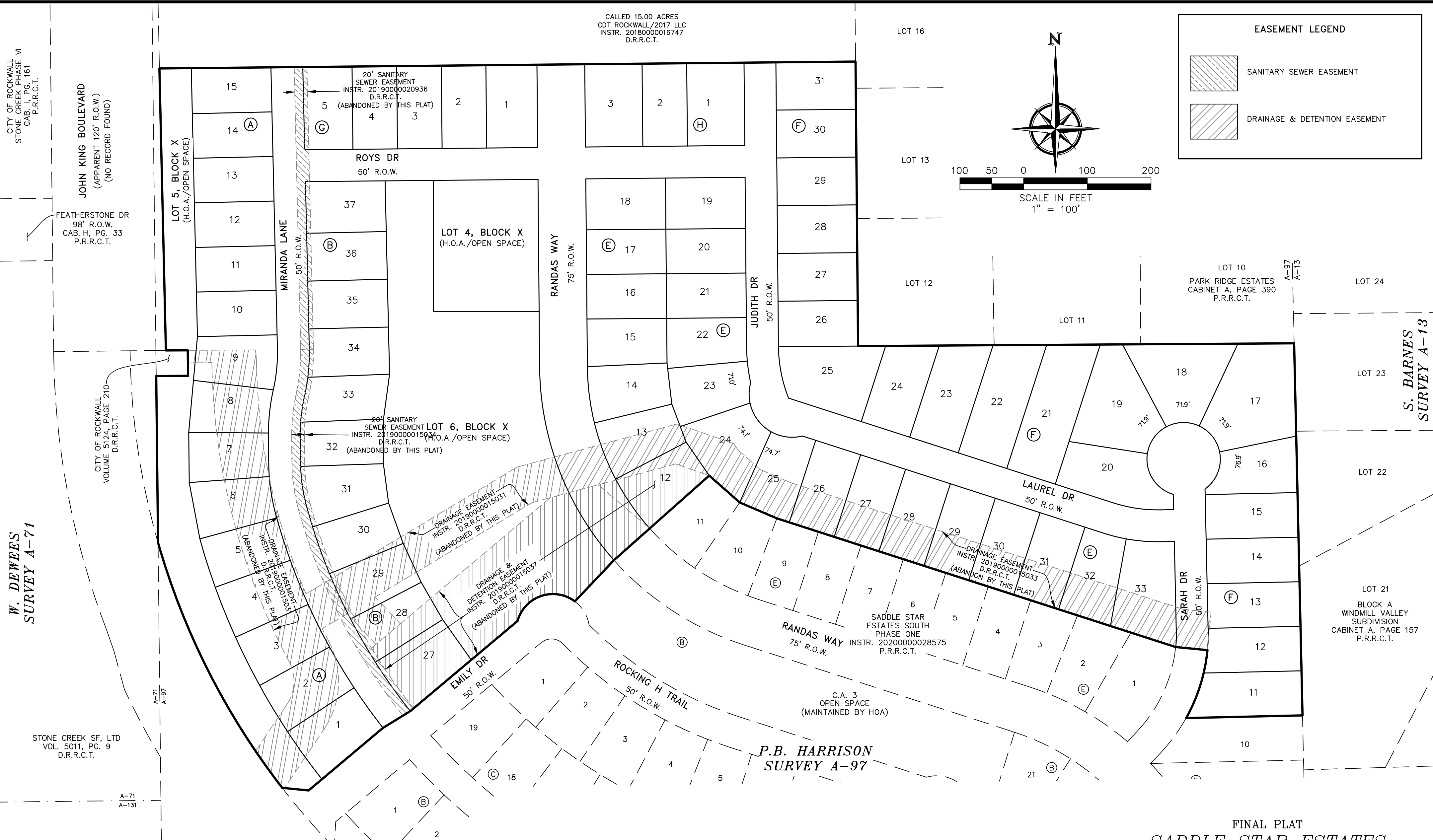
DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

FINAL PLAT
SADDLE STAR ESTATES SOUTH, PHASE TWO

77 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
29.002 ACRES

SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401



CALLED 15.00 ACRES
 CDT ROCKWALL/2017 LLC
 INSTR. 2018000016747
 D.R.R.C.T.

- Notes:
1. Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Redization (CORS 2011).
 2. A 5/8" iron rod with a yellow cap stamped "RPLS 3963" will be set at all lot corners and/or at reference points to lot corners, wherever possible, after the completion of all utilities and subdivision construction. Offsets to corners will be set in areas impeded by retainer walls or other obstacles lying on the actual lot corner.
 3. By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.

4. All non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The Open Space Lots to be maintained by the Homeowners Association (HOA).

Note:
 The homeowners Association is responsible for maintaining all non-standard decorative signs, poles/post, hardware or other non-standard items. The City of Rockwall has no maintenance or other responsibility related to these items. The City of Rockwall and the Homeowners Association agree the association will bear any and all maintenance cost related to the said improvements. The City has the statutory authority to install and maintain Traffic Control Devices for vehicular traffic on public streets/roads within the public Right of Way. This agreement in no way constitutes a change in that authority and does not constitute and delegation of that authority of the Association.

OWNERS
SADDLE STAR SOUTH HOLDINGS, LLC
 2200 ROSS AVE., STE. 4200W
 DALLAS, TX 75201

DEVELOPER
HINES
 2200 ROSS AVE., SUITE 4200W
 DALLAS, TX 75201
 (214) 716-2900

LAND SURVEYOR
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 FIRM NO. 10192300 JOB NO. 355

FINAL PLAT
SADDLE STAR ESTATES SOUTH, PHASE TWO

77 SINGLE FAMILY LOTS
 3 COMMON AREA TRACT
 29.002 ACRES
 SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
 ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
 TEXAS FIRM REG. NO. 001145
 201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
 (972) 941-8400 FAX (972) 941-8401

REV: 10/25/2021
 DATE: 10/15/2021
 CASE #: P2021-055
 SHEET 2 OF 3

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS SADDLE STAR SOUTH HOLDINGS LLC, BEING THE OWNER OF a 29.002 acre tract of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being part of a 21.088 acre tract of land described in deed to Saddle Star South Holdings, LLC, recorded in Instrument 20210000018006, Deed Records, Rockwall County, Texas (DRRCT), and part of a 34.325 acre tract of land described in deed to Saddle Star South Holdings, LLC, recorded in Instrument No. 20180000013211, DRRCT, said 29.002 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the northwest corner of Saddle Star Estates South, Phase One, an addition to the City of Rockwall, recorded in Instrument 20200000028575, Plat Records, Rockwall County, Texas (PRRCT), same being in the west line of Windmill Valley Subdivision, an addition to Rockwall County, recorded in Cabinet A, Page 157, PRRCT;

- THENCE along the north line of said Saddle Star South, the following courses:
• South 88 degrees 42 minutes 33 seconds West, a distance of 182.77 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the beginning of a non-tangent curve to the left having a radius of 275.00 feet, whose chord bears North 17 degrees 22 minutes 23 seconds East, a distance of 111.72 feet;
• Northeasterly, with said curve to the left, through a central angle of 23 degrees 26 minutes 23 seconds, an arc distance of 112.50 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the end of said curve;
• North 84 degrees 20 minutes 49 seconds West, a distance of 50.00 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• North 72 degrees 06 minutes 44 seconds West, a distance of 657.61 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• North 66 degrees 47 minutes 40 seconds West, a distance of 63.38 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• North 48 degrees 35 minutes 07 seconds West, a distance of 63.78 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• South 48 degrees 23 minutes 33 seconds West, a distance of 200 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• South 43 degrees 25 minutes 25 seconds West, a distance of 89.23 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the beginning of a non-tangent curve to the left having a radius of 57.50 feet, whose chord bears South 71 degrees 13 minutes 07 seconds West, a distance of 94.87 feet;
• Southwesterly, with said curve to the left, through a central angle of 111 degrees 10 minutes 32 seconds, an arc distance of 111.57 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the end of said curve;
• South 49 degrees 55 minutes 55 seconds West, a distance of 220.14 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• South 58 degrees 29 minutes 53 seconds West, a distance of 50.35 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• South 49 degrees 55 minutes 55 seconds West, a distance of 152.40 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found for corner;
• North 84 degrees 16 minutes 58 seconds West, a distance of 41.84 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the beginning of a non-tangent curve to the right having a radius of 1140.00 feet, whose chord bears North 26 degrees 51 minutes 02 seconds West, a distance of 430.87 feet, same being in the northeast right-of-way line of John King Boulevard (a variable width right-of-way) common to the southwest line of said 44.293 acre tract;

- THENCE along said common line, the following courses:
• Northwesterly, with said curve to the right, through a central angle of 21 degrees 47 minutes 11 seconds, an arc distance of 433.48 feet to a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at end of said curve;
• North 00 degrees 38 minutes 27 seconds West, a distance of 261.96 feet to a PK Nail, found at the southwest corner of a tract of land conveyed to the City of Rockwall, recorded in Volume 5124, Page 210, DRRCT;

THENCE along the common line of said 44.292 acre tract and said City of Rockwall tract, the following courses:

- North 89 degrees 38 minutes 44 seconds East, a distance of 50.00 feet to a 1/2-inch iron rod with cap, found for corner;
• North 00 degrees 38 minutes 27 seconds West, a distance of 40.00 feet to a 1/2-inch iron rod with cap, found for common north corner of said City of Rockwall tract and said 44.292 acre tract, same being in the south line of said 9.127 acre tract;

THENCE South 89 degrees 38 minutes 05 seconds West, along the common line of said City of Rockwall tract and said 9.127 acre tract, a distance of 34.30 feet to a 1/2-inch iron rod with cap, found for the southwest corner of said 9.127 acre tract;

THENCE North 01 degrees 19 minutes 17 seconds West, along the west line of said 9.127 acre tract and said 2.00 acre tract, a distance of 442.88 feet to a 1/2-inch iron rod with cap, found for the northwest corner of said 9.127 acre tract and the southwest corner of a called 15.00 acre tract of land described in deed to CDT Rockwall/2017, LLC, recorded in Instrument 20180000016747, DRRCT;

THENCE North 89 degrees 26 minutes 12 seconds East, along the common line of said 9.127 acre tract and said 15.00 acre tract, a distance of 1092.52 feet to a 1/2-inch iron rod found at the common east corner of said 9.127 acre tract and said 15.00 acre tract, said being in the west line of Park Ridge Estates, an addition to the City of Rockwall, recorded in Cabinet A, Page 390, PRRCT;

THENCE South 00 degrees 30 minutes 07 seconds East, along the common line of said Park Ridge Estates and said 9.127 acre tract, a distance of 446.60 feet to a 1/2-inch iron rod found at the southeast corner of said 9.127 acre tract, same being in the north line of said 44.292 acre tract;

THENCE North 89 degrees 38 minutes 05 seconds East, along the along the south line of said Park Ridge Estates and the north line of said 44.292 acre tract, at 43.33 feet passing a 5/8-inch iron rod with a yellow cap stamped, RPLS 3963, found at the northwest corner of said 34.325 acre tract and continuing along the north line of same, a total distance of 684.36 feet to 3/8-inch iron rod found at the northeast corner of said 34.325 acre tract, said corner being in the east line of the aforementioned Windmill Valley Subdivision;

THENCE South 01 degrees 17 minutes 27 seconds East, along the common line of said 34.325 acre tract and said Windmill Valley Subdivision, a distance of 584.36 feet to the POINT OF BEGINNING AND CONTAINING 1,263,315 square feet or 29.002 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

SADDLE STAR SOUTH HOLDINGS, LLC, the undersigned owner of the land shown on this plat, and designated herein as the SADDLE STAR ESTATES SOUTH, PHASE TWO, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. SADDLE STAR SOUTH HOLDINGS, LLC further certifies that all other parties who have a mortgage or lien interest in the SADDLE STAR ESTATES SOUTH, PHASE TWO subdivision have been notified and signed this plat. SADDLE STAR SOUTH HOLDINGS, LLC understands and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. SADDLE STAR SOUTH HOLDINGS, LLC also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner/H.O.A. shall be responsible for all maintenance, repair and replacement of all drainage and detention systems in easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

SADDLE STAR SOUTH HOLDINGS, LLC further acknowledges that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; SADDLE STAR SOUTH HOLDINGS, LLC, it's successors and assigns hereby waive any claim, damage, or cause of action that SADDLE STAR SOUTH HOLDINGS, LLC may have as a result of the dedication of exactions made herein.

FOR: SADDLE STAR SOUTH HOLDINGS, LLC (PROPERTY OWNER) FOR: AMERICAN UNITED BANK OF TEXAS (LIEN HOLDER)

BY: NAME: TITLE: BY: NAME: TITLE:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared , known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ___ day of _____, 2021.

Notary Public in and for the State of Texas
My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared , known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ___ day of _____, 2021.

Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

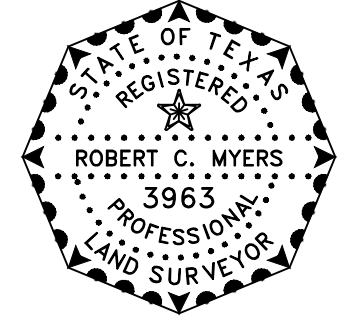
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Robert C. Myers, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS ___ DAY OF _____, 2021.

Preliminary, this document shall not be recorded for any purpose and shall not be used or relied upon as a final survey document. This final plat is released on October 15, 2021 for review by the City and other parties for comments and progression to an approved Final Plat.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963



APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman Date

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of _____, 2021.

Mayor, City of Rockwall City Secretary City Engineer

FINAL PLAT
SADDLE STAR ESTATES
SOUTH, PHASE TWO

OWNERS
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

LAND SURVEYOR
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77 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
29.002 ACRES
SITUATED IN THE

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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
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TEXAS FIRM REG. NO. 001145
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(972) 941-8400 FAX (972) 941-8401

REV: 10/25/2021 DATE: 10/15/2021 CASE #: P2021-055 SHEET 3 OF 3

Parcel Map Check Report
Prepared by: Survey Department
Engineering Concepts & Design, LP
201 Windco Circle, Suite 200
Date: 10/15/2021 12:52:59 PM

Parcel Name: Overall

Description:

Process segment order counterclockwise: False
Enable mapcheck across chord: False
North: 7,037,824.594' East: 2,598,314.402'

Segment# 1: Line

Course: S 88°42'33" W Length: 182.77'
North: 7,037,820.477' East: 2,598,131.678'

Segment# 2: Curve

Length: 112.50' Radius: 275.00'
Delta: 23°26'23" Tangent: 57.05'
Chord: 111.72' Course: N 17°22'23" E
Course In: N 60°54'26" W Course Out: S 84°20'49" E
RP North: 7,037,954.189' East: 2,597,891.374'
End North: 7,037,927.100' East: 2,598,165.037'

Segment# 3: Line

Course: N 84°20'49" W Length: 50.00'
North: 7,037,932.025' East: 2,598,115.280'

Segment# 4: Line

Course: N 72°06'44" W Length: 657.61'
North: 7,038,134.012' East: 2,597,489.459'

Segment# 5: Line

Course: N 66°47'40" W Length: 63.38'
North: 7,038,158.986' East: 2,597,431.206'

Segment# 6: Line

Course: N 48°35'07" W Length: 63.78'
North: 7,038,201.177' East: 2,597,383.375'

Segment# 7: Line

Course: S 48°23'33" W Length: 200.00'
North: 7,038,068.372' East: 2,597,233.833'

Segment# 8: Line

Course: S 43°25'25" W Length: 89.23'
North: 7,038,003.565' East: 2,597,172.497'

Segment# 9: Curve

Length: 111.57' Radius: 57.50'
Delta: 111°10'32" Tangent: 83.94'
Chord: 94.87' Course: S 71°13'07" W
Course In: S 36°48'22" W Course Out: N 74°22'09" W
RP North: 7,037,957.527' East: 2,597,138.049'
End North: 7,037,973.019' East: 2,597,082.675'

Segment# 10: Line

Course: S 49°55'55" W Length: 220.14'
North: 7,037,831.316' East: 2,596,914.206'

Segment# 11: Line
 Course: S 58°29'53" W Length: 50.35'
 North: 7,037,805.007' East: 2,596,871.277'

Segment# 12: Line
 Course: S 49°55'55" W Length: 152.40'
 North: 7,037,706.907' East: 2,596,754.648'

Segment# 13: Line
 Course: N 84°16'58" W Length: 41.84'
 North: 7,037,711.075' East: 2,596,713.016'

Segment# 14: Curve
 Length: 433.48' Radius: 1,140.00'
 Delta: 21°47'11" Tangent: 219.39'
 Chord: 430.87' Course: N 26°51'02" W
 Course In: N 52°15'23" E Course Out: S 74°02'34" W
 RP North: 7,038,408.903' East: 2,597,614.480'
 End North: 7,038,095.494' East: 2,596,518.407'

Segment# 15: Line
 Course: N 0°38'27" W Length: 261.96'
 North: 7,038,357.438' East: 2,596,515.478'

Segment# 16: Line
 Course: N 89°38'44" E Length: 50.00'
 North: 7,038,357.747' East: 2,596,565.477'

Segment# 17: Line
 Course: N 0°38'27" W Length: 40.00'
 North: 7,038,397.745' East: 2,596,565.029'

Segment# 18: Line
 Course: S 89°38'05" W Length: 34.30'
 North: 7,038,397.526' East: 2,596,530.730'

Segment# 19: Line
 Course: N 1°19'17" W Length: 442.88'
 North: 7,038,840.288' East: 2,596,520.517'

Segment# 20: Line
 Course: N 89°26'12" E Length: 1,092.52'
 North: 7,038,851.030' East: 2,597,612.984'

Segment# 21: Line
 Course: S 0°30'07" E Length: 446.60'
 North: 7,038,404.447' East: 2,597,616.896'

Segment# 22: Line
 Course: N 89°38'05" E Length: 684.36'
 North: 7,038,408.810' East: 2,598,301.243'

Segment# 23: Line
 Course: S 1°17'27" E Length: 584.36'
 North: 7,037,824.598' East: 2,598,314.407'

Perimeter: 6,066.04' Area: 1,263,315Sq.Ft.
 Error Closure: 0.006 Course: N 49°45'38" E
 Error North : 0.0040 East: 0.0047

Precision 1: 1,011,005.00



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: P2021-056; FINAL PLAT FOR PHASE 2 OF THE SOMERSET PARK SUBDIVISION

Attachments

Case Memo
Development Application
Location Map
Final Plat
Tree Survey
Tree Preservation Plan

Summary/Background Information

Consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Bill Gietema of Arcadia Lakes of Somerset Holdings, LLC for the approval of a *Final Plat* for Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Final Plat.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Greg Helsel, *Spiars Engineering, Inc.*
CASE NUMBER: P2021-056; *Final Plat for Phase 2 of the Somerset Park Subdivision*

SUMMARY

Discuss and consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Bill Gietema of Arcadia Lakes of Somerset Holdings, LLC for the approval of a Final Plat for Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a Final Plat for an 82.809-acre parcel of land (*i.e. Tract 7 of the A. Johnson Survey, Abstract No. 123*) for the purpose of establishing Phase 2 of the Somerset Park Subdivision. The single-family residential subdivision will be composed of 165 single-family homes zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses. The site is generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549. It should be noted that the applicant has submitted a site plan [*i.e. Case No. SP2021-029*] concurrently with this final plat that shows the subdivision's amenities, landscaping, and hardscape plans.
- ☑ The subject property was annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. On November 17, 2014, the City Council approved *Ordinance No. 14-49 [Case No. Z2014-025]*, establishing the development standards for Planned Development District 63 (PD-63) [*i.e. the Lakes of Somerset Subdivision*]. On February 16, 2015, the City Council approved a Master Plat [*Case No. P2015-003*] that established the Lakes of Somerset Subdivision as Phase 1 [*i.e. 144 single-family homes*], Phase 2 [*i.e. 86 single-family homes*], and Phase 3 [*i.e. 79 single-family homes*]. This preliminary plat combines Phases 2 & 3 in to a single phase consisting of 165 single-family homes.
- ☑ On November 2, 2021, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision.
 - (1) The property owner shall pay pro-rata equipment fees of \$84,480.00 (*i.e. \$512.00 x 165 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$89,265.00 (*i.e. \$541.00 x 107 Lots*), which will be due prior to the issuance of a building permit.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Final Plat* for *Phase 2* of the *Somerset Park Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The final plat of land shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this *Final Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the *Final Plat* with the staff's recommendations by a vote of 5-0, with Commissioners Moeller and Thomas absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2021-056

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

[Signature]

CITY ENGINEER:

[Signature]

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION SOMERSET PARK PH.2

LOT

BLOCK

GENERAL LOCATION N.E. OF THE INTERSECTION OF S.H.205 AND FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-63

CURRENT USE VACANT

PROPOSED ZONING PD-63

PROPOSED USE SINGLE-FAMILY RESIDENTIAL

ACREAGE 82.809

LOTS [CURRENT] 1

LOTS [PROPOSED] 165 (Res.) 6 (HOA)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ARCADIA LAKES OF SOMERSET HOLDINGS, LLC

APPLICANT SPIARS ENGINEERING, INC

CONTACT PERSON BILL GIETEMA

CONTACT PERSON GREG HEBEL

ADDRESS 3500 MAPLE AVENUE SUITE 1165

ADDRESS 765 CUSTER RD.

CITY, STATE & ZIP DALLAS, TX 75219

CITY, STATE & ZIP PLANO, TX 75075

PHONE (214) 986-5024

PHONE (903) 408-7486

E-MAIL bill@arcadia.realty.net

E-MAIL greg.hebel@sparsengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Gietema [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 300.00 + 20.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

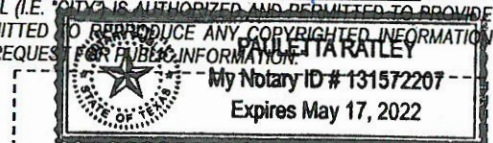
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2021

OWNER'S SIGNATURE

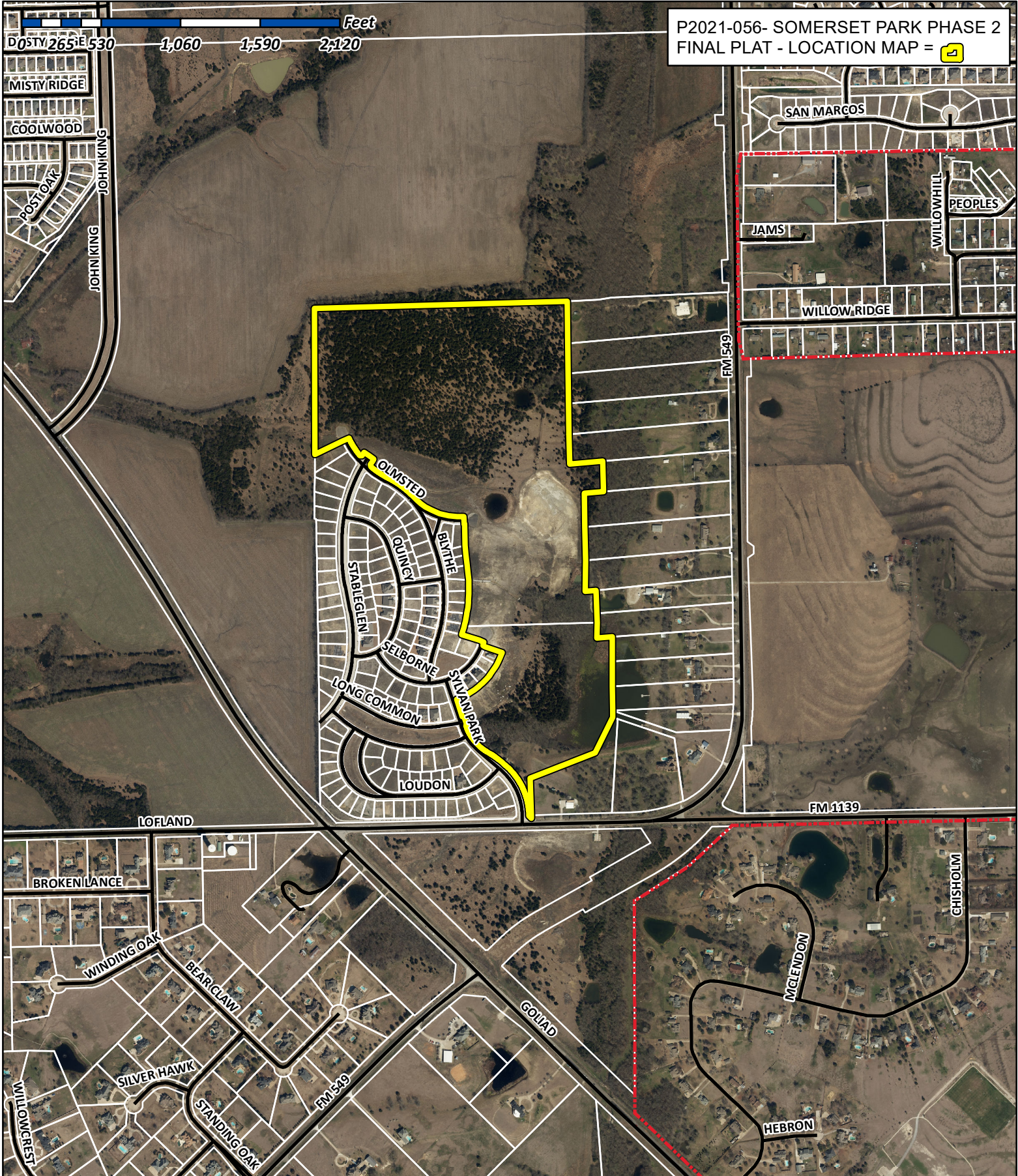
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 5/17/22

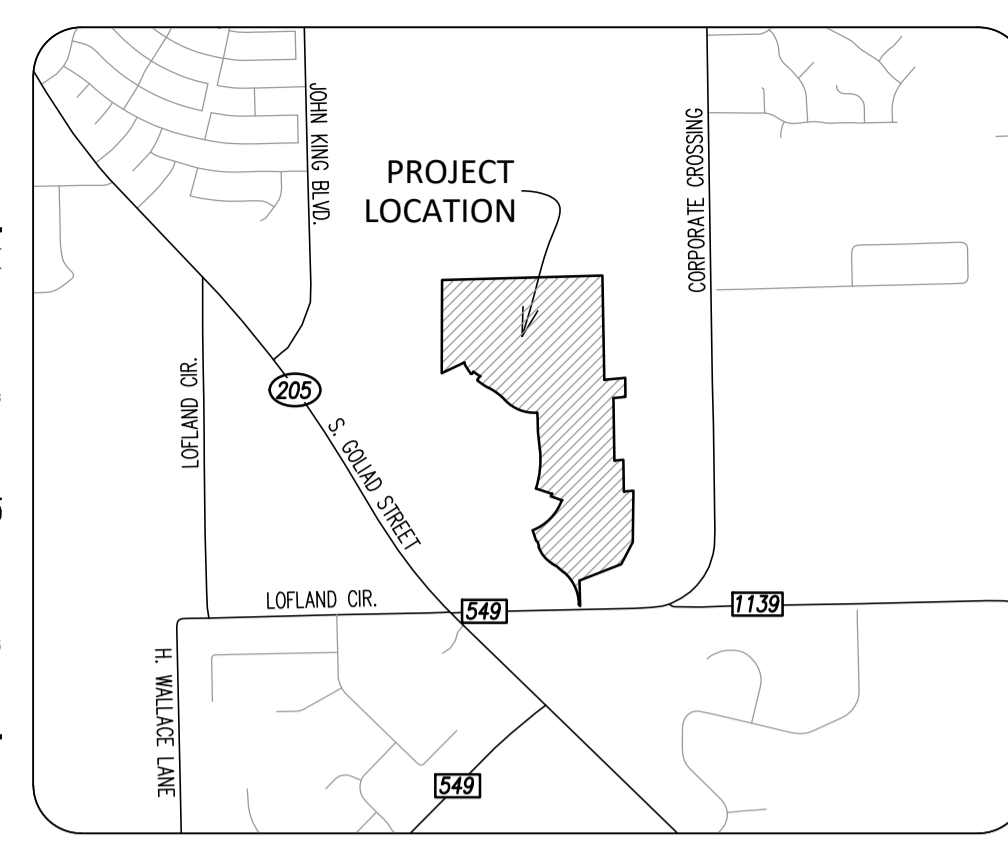


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND
(Not all items may be applicable)

○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esmt.	EASEMENT
Util.	UTILITY
AC	ACCESS EASEMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
◆	STREET NAME CHANGE
ⓐ	BLOCK DESIGNATION
▶	STREET FRONTAGE
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NTS	NOT TO SCALE
Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRCT)	DEED RECORDS, ROCKWALL COUNTY, TEXAS
(PRCT)	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
(OPRCT)	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

- NOTES:**
- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - According to Flood Insurance Rate Map (FIRM) 48397C0045L dated September 26, 2008, prepared by the Federal Emergency Management Agency (FEMA) for Rockwall County, Texas, this property is within Zone AE.
 - All corners are 1/2 inch iron pins with yellow plastic caps stamped "SPIARSENG" unless otherwise noted.
 - All open space/common areas, Lot 1, Block 11, Lot 1, Block 12, Lot 1, Block 13, Lot 7, Block 14, Lot 13 Block 18, Lot 17, Block 18 are to be owned and maintained by the H.O.A.
 - H.O.A. and Property owners shall maintain all Lot to Lot drainage.
 - All sidewalk trails not adjacent to houses to be maintained, repaired, and replaced by H.O.A.
 - All drainage and detention easements to be maintained, repaired, and replaced by property owner.
 - All decorative street signs, poles, foundations and appurtenances shall be owned and maintained by the H.O.A.
 - No building permits will be issued until all public improvements are accepted by the city.

City Benchmark #11:
NAD 1983 (2011) Texas North Central Zone (4202)
Brass disc stamped "City of Rockwall Survey Monument"
on the Northeast side of Mims Road at the southerly end
of a concrete headwall at the intersection of the
Northeast line of Mims Road with the Southeast line of
Interstate 30.
N: 7016792.505
E: 2595405.639
Elevation: 565.98

CASE NO. P2021-056
FINAL PLAT

SOMERSET PARK PHASE II

BLOCK 6, LOTS 1-14, BLOCK 10, LOTS 3-4 & 16-23,
BLOCK 11, LOTS 1-8 & 14-30, BLOCK 12, LOT 1,
BLOCK 13, LOT 1, BLOCK 14, LOTS 1-14, BLOCK 15, LOTS 1-21,
BLOCK 16, LOTS 1-19, BLOCK 17, LOTS 1-24, BLOCK 18, LOTS 1-17,
BLOCK 19, LOTS 1-8, BLOCK 20, LOTS 1-17

ZONED PD-63
165 RESIDENTIAL LOTS, 6 HOA LOTS
82.809 ACRES (3,607,167 S.F.) OUT OF THE
A. JOHNSON SURVEY~ ABSTRACT NO. 123
IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

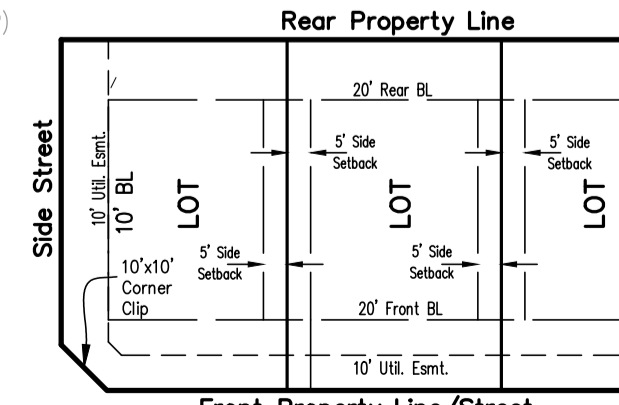
ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg T. Helsel

LAND USE SUMMARY

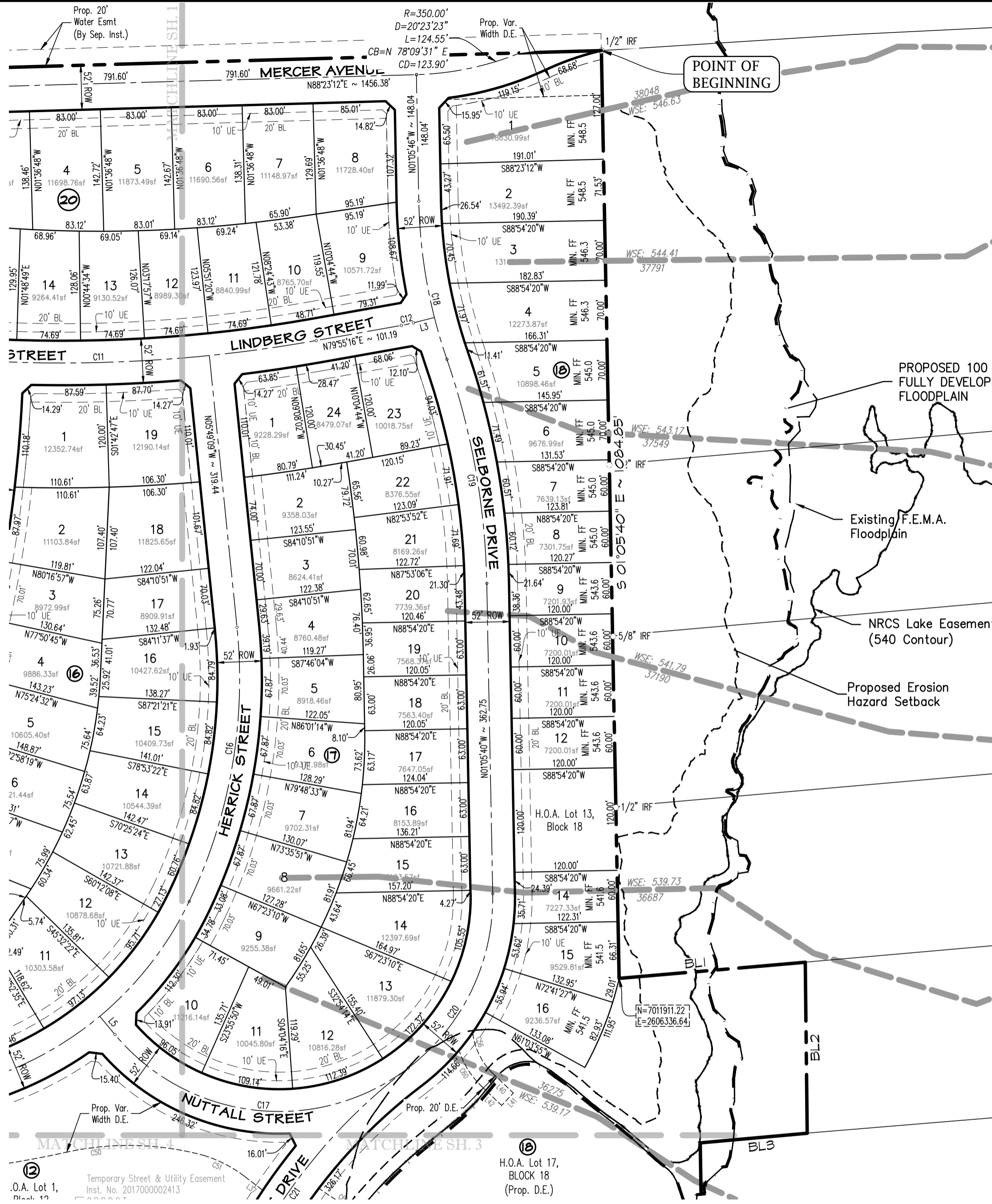
RESIDENTIAL LOTS	165
H.O.A. LOTS (OPEN SPACE)	6
RIGHT-OF-WAY	14.58 Ac.
TOTAL :	171 LOTS

Boundary Curve Table

Curve #	Radius	Delta	Length	Chord Bearing	Chord
BC1	960.00'	2°27'29"	41.19'	S 33°44'27" W	41.18'
BC2	1040.00'	1°26'00"	26.02'	S 34°15'07" W	26.02'
BC3	574.00'	13°40'50"	137.05'	S 32°28'31" E	136.73'

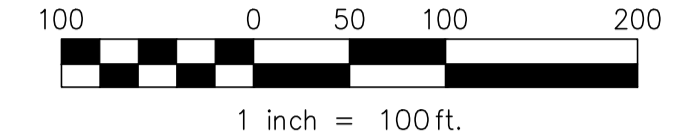
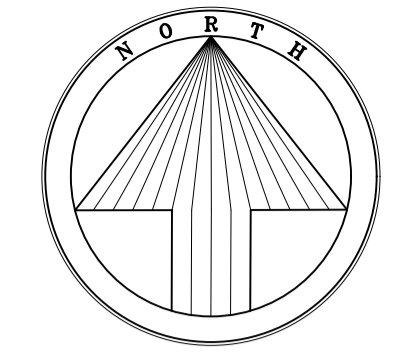


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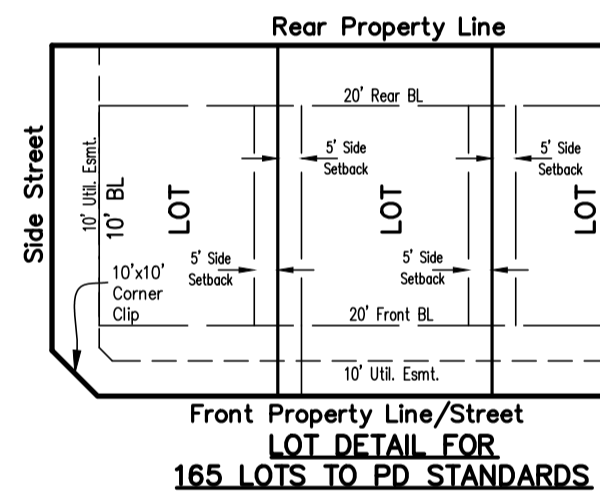
Line #	Length	Direction
L26	90.40'	N 00°08'16" E
L27	34.79'	N 87°41'33" E
L28	21.76'	N 87°41'33" E
L29	22.17'	N 51°09'21" W
L30	16.52'	S 38°50'39" W
L31	16.86'	N 38°50'39" E
L32	7.58'	N 08°34'14" E
L33	83.49'	S 35°31'48" E
L34	83.64'	S 35°31'48" E
L35	10.05'	S 55°32'41" E
L36	10.05'	S 55°32'41" E
L37	27.71'	N 52°33'37" W
L38	77.46'	N 52°33'30" W

Line #	Length	Direction
L40	32.49'	S 46°23'53" E
L41	20.00'	S 43°36'07" W
L42	32.48'	N 46°23'53" W
L43	20.00'	N 22°30'23" E
L44	53.83'	N 89°36'56" E
L45	2.89'	N 00°59'52" E
L46	16.47'	N 90°00'00" E
L47	18.25'	S 00°00'00" E
L48	240.00'	S 84°20'20" E
L49	240.00'	S 84°20'20" E
L50	35.64'	S 84°20'20" E
L51	20.00'	S 05°39'40" W
L52	35.64'	N 84°20'20" W



Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.

LEGEND	
(Not all items may be applicable)	
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSEN" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esmt.	EASEMENT
Util.	UTILITY
AC	ACCESS EASEMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
▲	STREET NAME CHANGE
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 Contact: Greg T. Helsel

SHEET 2 OF 6

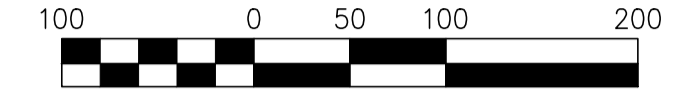
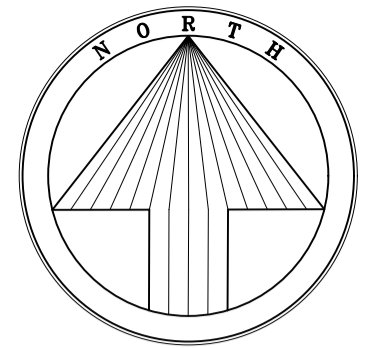
Scale: 1"=100' November, 2021 SEI Job No. 20-112

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C34	186.74'	476.00'	185.54'	N 11°22'35" E	22°28'39"
C36	46.83'	575.98'	46.81'	N 02°11'29" W	4°39'29"
C37	297.20'	990.00'	296.09'	N 24°03'10" E	17°12'02"
C38	37.21'	109.57'	37.03'	S 46°24'25" E	19°27'31"
C39	18.57'	94.57'	18.54'	S 42°23'27" E	11°15'04"
C42	25.33'	72.50'	25.20'	S 45°32'15" E	20°00'52"

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C43	30.57'	87.50'	30.41'	S 45°32'15" E	20°00'52"
C46	146.65'	571.40'	146.24'	N 55°51'24" W	14°42'16"
C47	142.97'	618.74'	142.65'	N 56°35'22" W	13°14'21"
C48	228.59'	311.25'	223.49'	N 71°00'35" W	42°04'47"
C49	226.59'	1246.58'	226.27'	S 82°44'36" W	10°24'52"
C50	162.01'	336.37'	160.45'	N 88°39'58" W	27°35'45"

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C51	53.34'	150.74'	53.06'	N 63°00'58" W	20°16'25"
C56	55.13'	79.57'	54.04'	S 26°35'00" E	39°42'01"
C60	50.19'	99.57'	49.66'	N 31°59'30" W	28°53'01"
C61	78.88'	335.00'	78.70'	S 60°44'52" E	13°29'30"
C62	83.73'	355.00'	83.53'	S 60°44'13" E	13°30'49"

Drawing: G:\2020\085\30-112 Somerset Park\30-112 - Plat.dwg Saved By: BJohnson Save Time: 11/2/2021 9:58:59 AM
 Printed by: BJohnson Plot Date: 11/2/2021 10:01 AM



1 inch = 100ft.

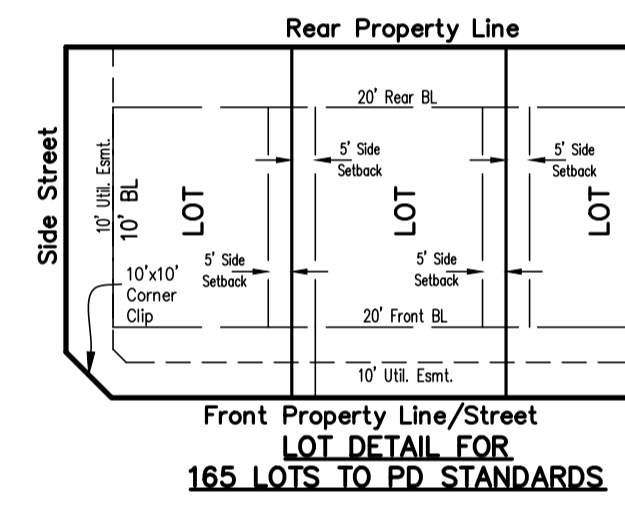
Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.

Boundary Curve Table					
Curve #	Radius	Delta	Length	Chord Bearing	Chord
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BC2	1040.00'	1'26'00"	26.02'	S 34'15'07" W	26.02'
BC3	574.00'	13'40'50"	137.05'	S 32'28'31" E	136.73'

Boundary Line Table		
Line #	Length	Direction
BL1	218.65'	N 85°04'06" E
BL2	199.86'	S 00°39'37" E
BL3	125.70'	S 84°51'02" W
BL4	93.68'	N 84°29'46" E
BL5	100.25'	N 85°06'41" E
BL6	24.04'	N 46°14'45" W
BL7	61.12'	N 49°52'36" W
BL8	26.18'	N 59°29'38" W
BL9	9.95'	N 26°04'37" E
BL10	52.01'	N 18°38'49" W

Boundary Line Table		
Line #	Length	Direction
BL11	14.08'	N 63°53'15" W
BL12	118.21'	N 18°38'49" W
BL13	120.00'	N 70°12'54" W
BL14	173.23'	N 71°48'05" W
BL15	142.77'	N 00°58'02" W
BL16	52.00'	N 03°59'25" W
BL17	15.18'	N 08°24'11" W
BL18	80.00'	N 55°02'47" W
BL19	11.91'	S 86°43'21" W

LEGEND	
<i>(Not all items may be applicable)</i>	
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
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DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
BY THIS PLAT	
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
◆	STREET NAME CHANGE
▲	BLOCK DESIGNATION
▲	STREET FRONTAGE
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NTS	NOT TO SCALE
Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRGCT)	DEED RECORDS, ROCKWALL COUNTY, TEXAS
(PRGCT)	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
(OPRGCT)	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS



Front Property Line/Street LOT DETAIL FOR 165 LOTS TO PD STANDARDS

CASE NO. P2021-056
FINAL PLAT

SOMERSET PARK PHASE II
BLOCK 6, LOTS 1-14, BLOCK 10, LOTS 3-4 & 16-23,
BLOCK 11, LOTS 1-8 & 14-30, BLOCK 12, LOT 1,
BLOCK 13, LOT 1, BLOCK 14, LOTS 1-14, BLOCK 15, LOTS 1-21,
BLOCK 16, LOTS 1-19, BLOCK 17, LOTS 1-24, BLOCK 18, LOTS 1-17,
BLOCK 19, LOTS 1-8, BLOCK 20, LOTS 1-17
ZONED PD-63

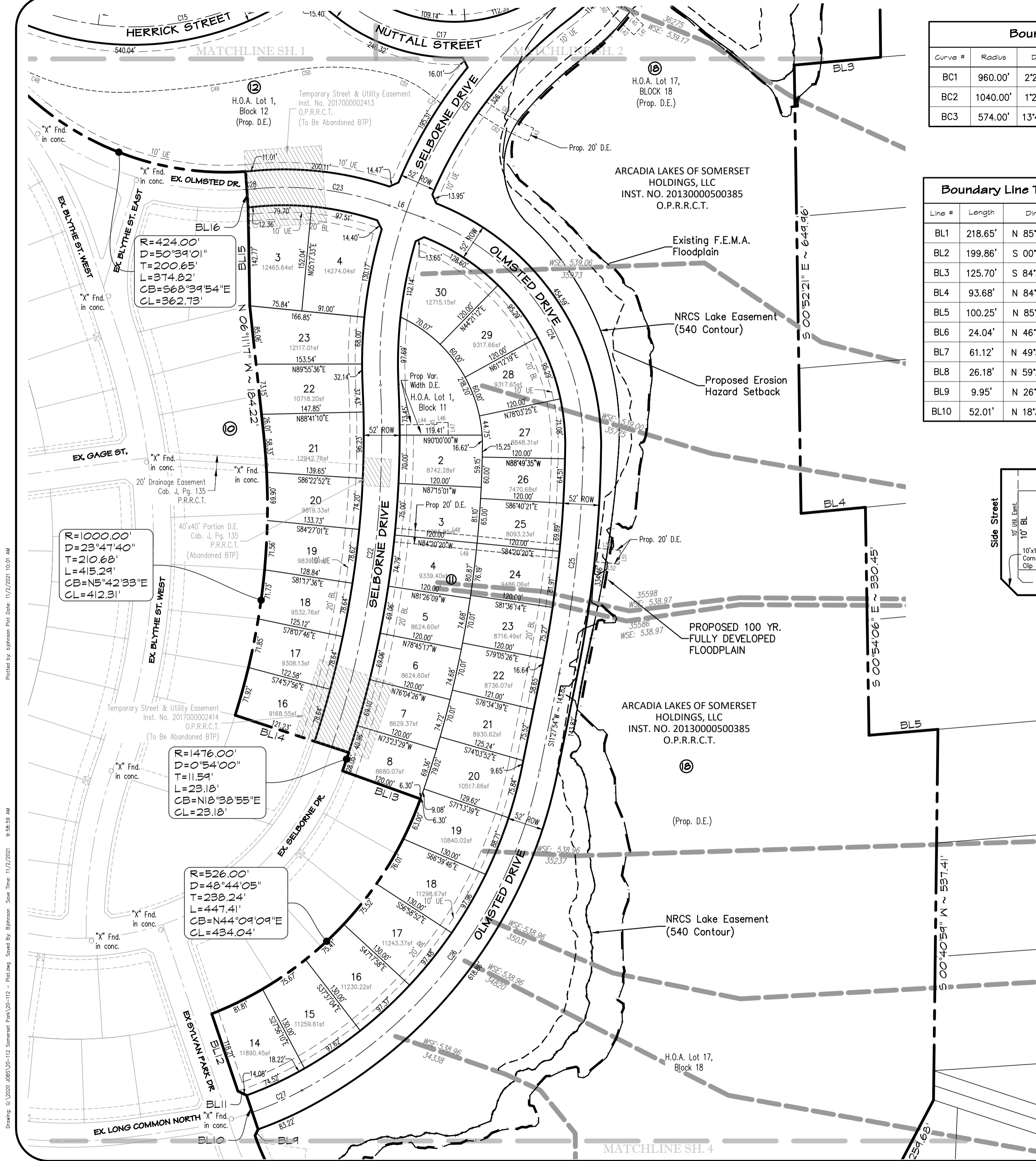
165 RESIDENTIAL LOTS, 6 HOA LOTS
82.809 ACRES (3,607,167 S.F.) OUT OF THE
A. JOHNSON SURVEY~ ABSTRACT NO. 123
IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

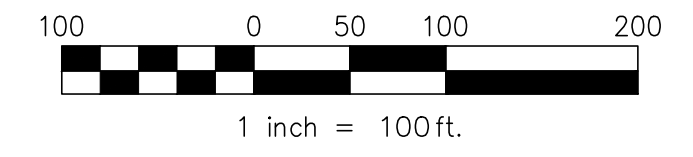
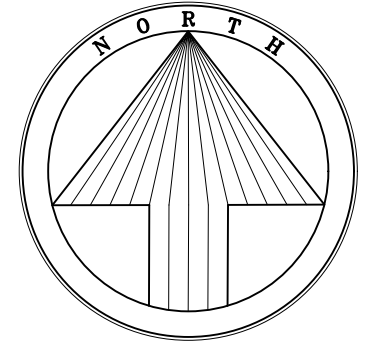
ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg T. Helsel

SHEET 3 OF 6

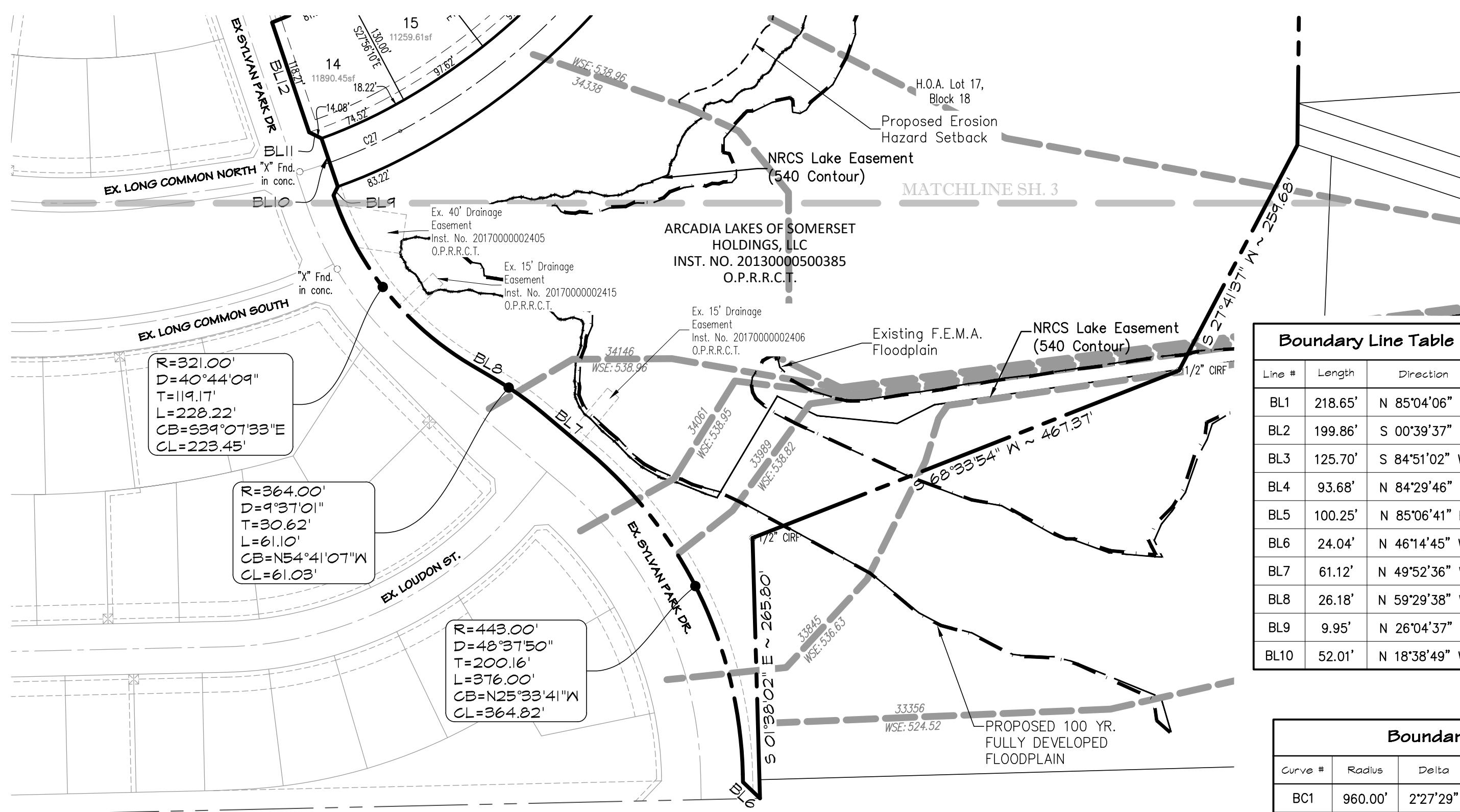
Scale: 1"=100' November, 2021 SEI Job No. 20-112



Drawing: G:\2020\085\20-112 Somerset Park\20-112 - Plat.dwg Saved By: Picturing Save Time: 11/27/2021 9:56:59 AM
 Plotted by: bphinson Plot Date: 11/2/2021 10:01 AM



Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.



R=321.00'
D=40°44'09"
T=119.17'
L=228.22'
CB=S89°07'33"E
CL=223.45'

R=364.00'
D=9°37'01"
T=30.62'
L=61.10'
CB=N54°41'07"W
CL=61.03'

R=443.00'
D=48°37'50"
T=200.16'
L=376.00'
CB=N25°33'41"W
CL=364.82'

Line #	Length	Direction
BL1	218.65'	N 85°04'06" E
BL2	199.86'	S 00°39'37" E
BL3	125.70'	S 84°51'02" W
BL4	93.68'	N 84°29'46" E
BL5	100.25'	N 85°06'41" E
BL6	24.04'	N 46°14'45" W
BL7	61.12'	N 49°52'36" W
BL8	26.18'	N 59°29'38" W
BL9	9.95'	N 26°04'37" E
BL10	52.01'	N 18°38'49" W

Line #	Length	Direction
BL11	14.08'	N 63°53'15" W
BL12	118.21'	N 18°38'49" W
BL13	120.00'	N 70°12'54" W
BL14	173.23'	N 71°48'05" W
BL15	142.77'	N 00°58'02" W
BL16	52.00'	N 03°59'25" W
BL17	15.18'	N 08°24'11" W
BL18	80.00'	N 55°02'47" W
BL19	11.91'	S 86°43'21" W

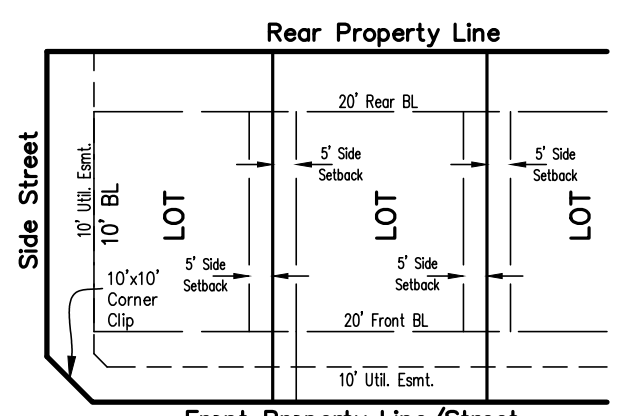
Curve #	Radius	Delta	Length	Chord Bearing	Chord
BC1	960.00'	2°27'29"	41.19'	S 33°44'27" W	41.18'
BC2	1040.00'	1°26'00"	26.02'	S 34°15'07" W	26.02'
BC3	574.00'	13°40'50"	137.05'	S 32°28'31" E	136.73'

○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSENG" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esmt.	EASEMENT
Util.	UTILITY
AC	ACCESS EASEMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
◆	STREET NAME CHANGE
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FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
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Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRGCT)	DEED RECORDS, ROCKWALL COUNTY, TEXAS
(PRGCT)	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
(OPRGCT)	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C1	188.52'	500.00'	187.41'	N09°11'17"E	21°36'10"
C2	173.24'	500.00'	172.37'	N10°03'49"E	19°51'06"
C3	269.61'	599.99'	267.34'	N12°44'06"W	25°44'45"
C4	425.49'	1014.00'	422.38'	N24°12'13"E	24°02'32"
C5	305.51'	391.35'	297.81'	N87°37'31"E	44°43'42"
C6	305.51'	391.35'	297.81'	N87°37'31"E	44°43'42"
C7	137.84'	250.00'	136.10'	N81°03'24"E	31°35'29"
C8	196.51'	1330.00'	196.34'	N02°37'11"E	8°27'57"
C9	717.10'	1330.00'	708.45'	N22°17'55"E	30°53'33"
C10	66.61'	1000.00'	66.60'	N35°50'12"E	3°49'00"
C11	502.37'	1700.00'	500.54'	N88°23'12"E	16°55'53"
C12	14.45'	200.00'	14.44'	N77°51'06"E	4°08'19"
C13	622.82'	1600.00'	618.90'	N13°32'29"E	22°18'12"
C14	106.99'	350.00'	106.57'	N15°56'08"E	17°30'52"

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C15	712.81'	400.00'	622.17'	N76°41'36"E	102°06'11"
C16	329.46'	600.00'	325.34'	N09°54'41"E	31°27'40"
C17	381.10'	250.00'	345.26'	S83°27'47"E	87°20'32"
C18	188.54'	600.00'	187.76'	N10°05'47"W	18°00'15"
C19	267.10'	850.00'	266.00'	N10°05'47"W	18°00'15"
C20	235.47'	249.73'	226.84'	N25°53'08"E	54°01'25"
C21	633.32'	652.00'	608.71'	N25°02'20"E	55°39'14"
C22	532.80'	1450.00'	529.81'	N07°42'24"E	21°03'12"
C23	198.17'	450.00'	196.57'	S82°51'45"E	25°13'53"
C24	432.94'	350.00'	405.86'	S34°48'37"E	70°52'24"
C25	329.54'	1742.00'	329.05'	S06°02'44"W	10°50'19"
C26	596.03'	679.00'	577.08'	S36°36'45"W	50°17'41"
C27	85.56'	529.56'	85.47'	S66°24'12"W	91°5'28"
C28	16.66'	450.00'	16.66'	N85°34'57"E	2°07'17"

Line #	Length	Direction
L1	25.43	S70° 00' 37.66"E
L2	10.25	S83° 08' 51.05"E
L3	25.28	N75° 46' 56.89"E
L4	26.00	N2° 23' 22.75"E
L5	27.76	S39° 47' 30.79"E
L6	26.02	S70° 14' 49.34"E



CASE NO. P2021-056
FINAL PLAT

SOMERSET PARK PHASE II

BLOCK 6, LOTS 1-14, BLOCK 10, LOTS 3-4 & 16-23,
BLOCK 11, LOTS 1-8 & 14-30, BLOCK 12, LOT 1,
BLOCK 13, LOT 1, BLOCK 14, LOTS 1-14, BLOCK 15, LOTS 1-21,
BLOCK 16, LOTS 1-19, BLOCK 17, LOTS 1-24, BLOCK 18, LOTS 1-17,
BLOCK 19, LOTS 1-8, BLOCK 20, LOTS 1-17
ZONED PD-63
165 RESIDENTIAL LOTS, 6 HOA LOTS
82.809 ACRES (3,607,167 S.F.) OUT OF THE
A. JOHNSON SURVEY~ ABSTRACT NO. 123
IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
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3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg T. Helsel

Drawing: C:\2020\0653\20-112 Somerset Park\10-112 - Plat.dwg Saved By: BJohnson Date: 11/2/2021 10:01 AM Plotted by: BJohnson Plot Date: 11/2/2021 10:01 AM

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	6	12,882	0.296
2	6	11,985	0.275
3	6	11,609	0.267
4	6	10,769	0.247
5	6	9,534	0.219
6	6	8,362	0.192
7	6	7,603	0.175
8	6	7,270	0.167
9	6	7,235	0.166
10	6	7,254	0.167
11	6	8,802	0.202
12	6	9,174	0.211
13	6	10,631	0.244
14	6	12,799	0.294

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
3	10	12,466	0.286
4	10	14,274	0.328
16	10	9,169	0.210
17	10	9,308	0.214
18	10	9,533	0.219
19	10	9,840	0.226
20	10	9,819	0.225
21	10	12,943	0.297
22	10	10,718	0.246
23	10	12,117	0.278

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
2	11	8,742	0.201
3	11	9,366	0.215
4	11	9,339	0.214
5	11	8,625	0.198
6	11	8,625	0.198
7	11	8,629	0.198
8	11	8,680	0.199
14	11	11,890	0.273
15	11	11,260	0.258
16	11	11,230	0.258
17	11	11,243	0.258
18	11	11,299	0.259
19	11	10,840	0.249
20	11	10,518	0.241
21	11	8,931	0.205

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
22	11	8,736	0.201
23	11	8,716	0.200
24	11	9,486	0.218
25	11	8,093	0.186
26	11	7,471	0.172
27	11	8,848	0.203
28	11	9,318	0.214
29	11	9,318	0.214
30	11	12,715	0.292

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	14	11,178	0.257
2	14	8,716	0.200
3	14	8,716	0.200
4	14	8,716	0.200
5	14	8,716	0.200
6	14	11,170	0.256
8	14	10,707	0.246
9	14	10,707	0.246
10	14	10,707	0.246
11	14	10,707	0.246
12	14	10,707	0.246
13	14	10,707	0.246
14	14	14,117	0.324

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	15	11,602	0.266
2	15	11,122	0.255
3	15	11,394	0.262
4	15	11,768	0.270
5	15	12,245	0.281
6	15	12,825	0.294
7	15	13,508	0.310
8	15	9,796	0.225
9	15	8,074	0.185
10	15	8,546	0.196
11	15	9,609	0.221
12	15	12,513	0.287
13	15	10,755	0.247
14	15	10,250	0.235
15	15	10,228	0.235

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
16	15	10,148	0.233
17	15	10,011	0.230
18	15	9,817	0.225
19	15	9,564	0.220
20	15	9,252	0.212
21	15	9,425	0.216

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	16	12,353	0.284
2	16	11,104	0.255
3	16	8,973	0.206
4	16	9,886	0.227
5	16	10,605	0.243
6	16	10,721	0.246
7	16	10,219	0.235
8	16	9,169	0.210
9	16	15,434	0.354
10	16	12,299	0.282
11	16	10,304	0.237
12	16	10,879	0.250
13	16	10,722	0.246
14	16	10,544	0.242
15	16	10,410	0.239

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
16	16	10,428	0.239
17	16	8,910	0.205
18	16	11,826	0.271
19	16	12,190	0.280

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	17	9,228	0.212
2	17	9,358	0.215
3	17	8,624	0.198
4	17	8,760	0.201
5	17	8,918	0.205
6	17	9,372	0.215
7	17	9,702	0.223
8	17	9,661	0.222
9	17	9,255	0.212
10	17	11,216	0.257
11	17	10,046	0.231
12	17	10,816	0.248
13	17	11,879	0.273
14	17	12,398	0.285
15	17	9,194	0.211
16	17	8,154	0.187
17	17	7,647	0.176
18	17	7,563	0.174
19	17	7,568	0.174
20	17	7,739	0.178

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
21	17	8,169	0.188
22	17	8,377	0.192
23	17	10,019	0.230
24	17	8,479	0.195

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	19	11,082	0.254
2	19	10,400	0.239
3	19	10,400	0.239
4	19	14,341	0.329
5	19	14,548	0.334
6	19	12,184	0.280
7	19	11,673	0.268
8	19	11,074	0.254

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	18	18,631	0.428
2	18	13,492	0.310
3	18	13,113	0.301
4	18	12,274	0.282
5	18	10,898	0.250
6	18	9,677	0.222
7	18	7,639	0.175
8	18	7,302	0.168
9	18	7,202	0.165
10	18	7,200	0.165
11	18	7,200	0.165
12	18	7,200	0.165
14	18	7,227	0.166
15	18	9,530	0.219
16	18	9,237	0.212

Lot Area Table			
Lot #	Block #	Sqare Feet	Acreage
1	20	15,182	0.349
2	20	10,607	0.244
3	20	11,166	0.256
4	20	11,699	0.269
5	20	11,873	0.273
6	20	11,691	0.268
7	20	11,149	0.256
8	20	11,728	0.269
9	20	10,572	0.243
10	20	8,766	0.201
11	20	8,841	0.203
12	20	8,989	0.206
13	20	9,131	0.210
14	20	9,264	0.213
15	20	9,386	0.215
16	20	11,089	0.255
17	20	16,040	0.368

Open Space Area Table		
Lot #	Block #	Acres
1	13	0.736
1	12	3.072
1	11	0.333
7	14	0.261
13	18	0.331
17	18	24.664

Boundary Line Table		
Line #	Length	Direction
BL1	218.65'	N 85°04'06" E
BL2	199.86'	S 00°39'37" E
BL3	125.70'	S 84°51'02" W
BL4	93.68'	N 84°29'46" E
BL5	100.25'	N 85°06'41" E
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BL7	61.12'	N 49°52'36" W
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Boundary Curve Table					
Curve #	Radius	Delta	Length	Chord Bearing	Chord
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Telephone (214) 642-1135
Contact: Katherine Hamilton

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg T. Helsel

OWNER'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS ARCADIA LAKES OF SOMERSET HOLDINGS, LLC, is the owner of a tract of land situated in the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, being part of a tract conveyed by deed recorded in Document No. 2013-0000500385, Deed Records, Rockwall County, Texas (DRRCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on a south line of a tract conveyed to N.L. Lofland and Annie Lofland, recorded in Volume 28, Page 487 DRRCT, for the northwest corner of Lofland Lake Estates, an addition recorded in Cabinet C, Page 231, Plat Records, Rockwall County, Texas (PRRCT);

THENCE along the west line of Lofland Lake Estates, the following:

S 01°05'40" E, 1084.85 feet;

N 85°04'06" E, 218.65 feet;

S 00°39'37" E, 199.86 feet;

S 84°51'02" W, 125.70 feet;

S 00°52'21" E, 649.96 feet;

And N 84°29'46" E, 93.68 feet to the northwest corner of Lofland Lake Estates No. 2, an addition recorded in Cabinet C, Page 251 PRRCT;

THENCE along the west line of Lofland Lake Estates No. 2, the following:

S 00°54'06" E, 330.45 feet;

N 85°06'41" E, 100.25 feet;

And S 00°40'59" W, 537.41 feet to a northerly corner of Lot 2, Block A, Edwards Acres Subdivision, an addition recorded in Cabinet I, Page 41 PRRCT;

THENCE along the common line thereof, the following:

S 27°41'37" W, 259.68 feet to a 1/2" iron rod with plastic cap found;

S 68°33'54" W, 467.37 feet to a 1/2" iron rod with plastic cap found;

And S 01°38'02" E, 265.80 feet to a point in the north line of Farm to Market Road 549, a public right-of-way, for the most southerly southeast corner of Somerset Park, an addition recorded in Cabinet J, Page 273 PRRCT;

THENCE along the easterly lines thereof, the following:

N 46°14'45" W, 24.04 feet;

N 01°14'46" W, 8.08 feet;

A tangent curve to the left having a central angle of 48°37'50", a radius of 443.00 feet, a chord of N 25°33'41" W - 364.82 feet, an arc length of 376.00 feet;

N 49°52'36" W, 61.12 feet;

A tangent curve to the left having a central angle of 09°37'01", a radius of 364.00 feet, a chord of N 54°41'07" W - 61.03 feet, an arc length of 61.10 feet;

N 59°29'38" W, 26.18 feet;

A tangent curve to the right having a central angle of 40°44'09", a radius of 321.00 feet, a chord of N 39°07'33" W - 223.45 feet, an arc length of 228.22 feet;

N 26°04'37" E, 9.95 feet;

N 18°38'49" W, 52.01 feet;

N 63°53'15" W, 14.08 feet;

N 18°38'49" W, 118.21 feet;

A non-tangent curve to the left having a central angle of 48°44'05", a radius of 526.00 feet, a chord of N 44°09'09" E - 434.04 feet, an arc length of 447.41 feet;

N 70°12'54" W, 120.00 feet;

A non-tangent curve to the left having a central angle of 00°41'12", a radius of 406.00 feet, a chord of N 19°26'30" E - 4.86 feet, an arc length of 4.86 feet;

A compound curve to the left having a central angle of 00°54'00", a radius of 1476.00 feet, a chord of N 18°38'55" E - 23.18 feet, an arc length of 23.18 feet;

N 71°48'05" W, 173.23 feet;

A non-tangent curve to the left having a central angle of 23°47'40", a radius of 1000.00 feet, a chord of N 05°42'33" E - 412.31 feet, passing at an arc length of 376.03 feet an "X" found in concrete, continuing a total arc length of 415.29 feet;

N 06°11'17" W, 184.22 feet;

N 00°58'02" W, 142.77 feet;

N 03°59'25" W, 52.00 feet;

A non-tangent curve to the right having a central angle of 50°39'01", a radius of 424.00 feet, a chord of N 68°39'54" W - 362.73 feet, an arc length of 374.82 feet;

A reverse curve having a central angle of 19°54'48", a radius of 606.00 feet, a chord of N 53°17'48" W - 209.56 feet, an arc length of 210.62 feet;

A reverse curve having a central angle of 13°44'06", a radius of 574.00 feet, a chord of N 56°23'09" W - 137.27 feet, an arc length of 137.60 feet;

N 08°24'11" W, 15.18 feet;

A non-tangent curve to the right having a central angle of 02°27'29", a radius of 960.00 feet, a chord of N 33°44'27" E - 41.18 feet, an arc length of 41.19 feet;

N 55°02'47" W, 80.00 feet;

A non-tangent curve to the left having a central angle of 01°26'00", a radius of 1040.00 feet, a chord of S 34°15'07" W - 26.02 feet, an arc length of 26.02 feet;

S 86°43'21" W, 11.91 feet;

A non-tangent curve to the right having a central angle of 13°40'50", a radius of 574.00 feet, a chord of N 32°28'31" W - 136.73 feet, an arc length of 137.05 feet;

And S 64°21'54" W, 255.05 feet to a 5/8" iron rod with plastic cap found on an east line of said Lofland tract;

THENCE N 00°08'16" E, 973.07 feet along the east line thereof to a 1/2" iron rod found

THENCE N 88°23'12" E, 1672.70 feet to the POINT OF BEGINNING with the subject tract containing 3,607,167 square feet or 82.809 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, ARCADIA LAKES OF SOMERSET HOLDINGS, LLC, do hereby adopt this plat designating the hereinabove described property as SOMERSET PARK, PHASE II, an Addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We Further understand and acknowledge the following:

- 1. All decorative street signs, poles, foundations and appurtenances shall be owned and maintained by the H.O.A.
- 2. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house, dwelling, unit, or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, and storm sewers, all according to the specifications of the City of Rockwall.

Witness our hands at Rockwall County, Texas, this _____ day of _____, 2021.

ARCADIA LAKES OF SOMERSET HOLDINGS, LLC

By: Katherine Hamilton, Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2021.

Notary Public, State of Texas

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission, Chairman

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____, 20____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of this final approval.

WITNESS OUR HANDS, this ___ day of _____, 20____.

Mayor, City of Rockwall

City Secretary

City Engineer

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of _____, Texas.

Dated this the _____ day of _____, 2021.

DARREN K. BROWN, R.P.L.S. NO. 5252



CASE NO. P2021-056
FINAL PLAT

SOMERSET PARK PHASE II
BLOCK 6, LOTS 1-14, BLOCK 10, LOTS 3-4 & 16-23,
BLOCK 11, LOTS 1-8 & 14-30, BLOCK 12, LOT 1,
BLOCK 13, LOT 1, BLOCK 14, LOTS 1-14, BLOCK 15, LOTS 1-21,
BLOCK 16, LOTS 1-19, BLOCK 17, LOTS 1-24, BLOCK 18, LOTS 1-17,
BLOCK 19, LOTS 1-8, BLOCK 20, LOTS 1-17
ZONED PD-63
165 RESIDENTIAL LOTS, 6 HOA LOTS
82.809 ACRES (3,607,167 S.F.) OUT OF THE
A. JOHNSON SURVEY~ ABSTRACT NO. 123
IN THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: Greg T. Helsel

SHEET 6 OF 6

November, 2021 SEI Job No. 20-112

LEGEND OF ABBREVIATIONS

- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET

SURVEYOR'S NOTES:

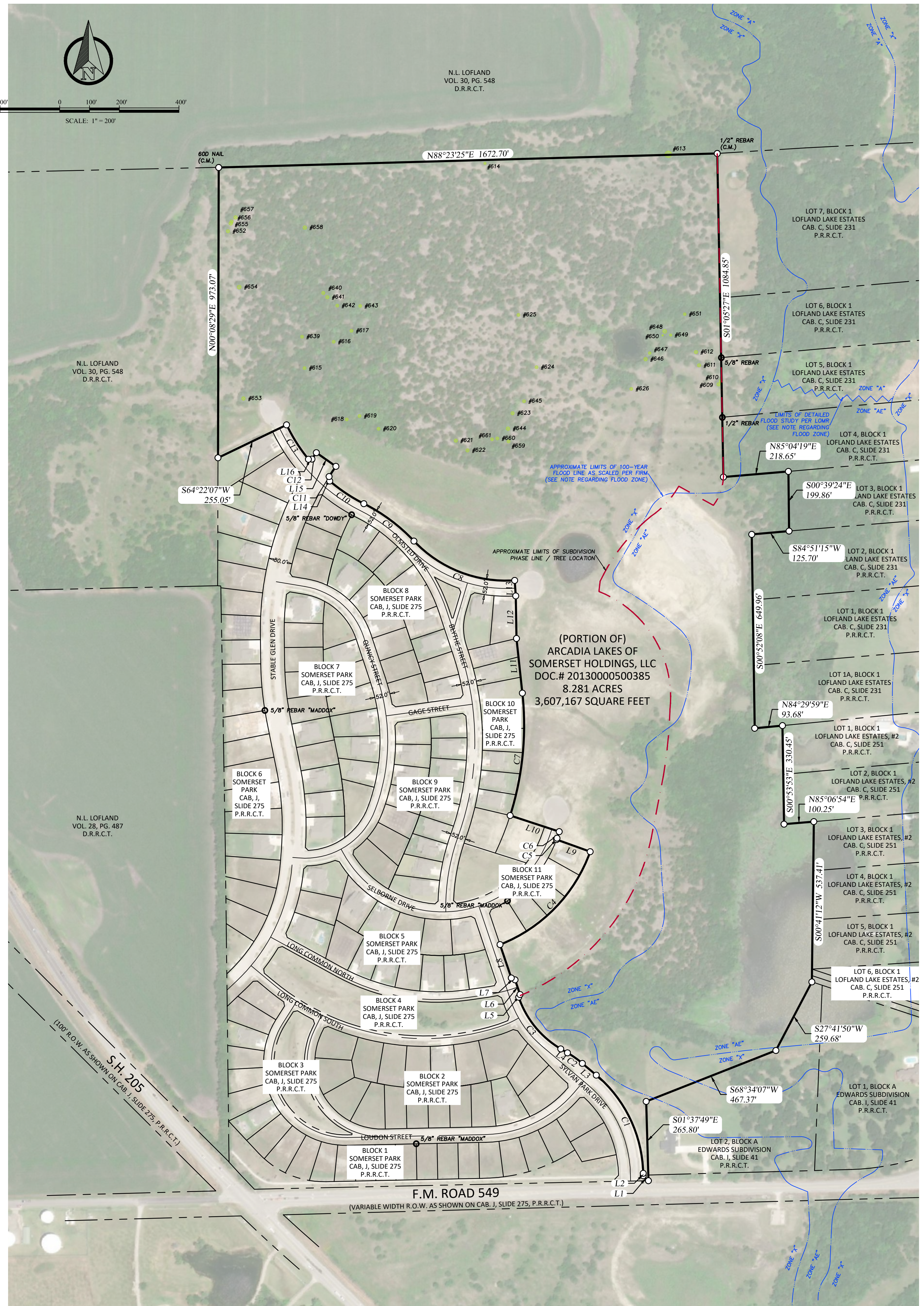
- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
- This property lies within Zone "AE", Zone "A", & Zone "X" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0045L, with an effective date of September 26, 2008, as affected by Letter of Map Revision Case No. 18-06-1450 P, dated April 15, 2019 via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).
- The purpose of this survey is to locate trees meeting the scope requirements within contract signed by client. All improvements are not shown herein.

NOTE REGARDING UTILITIES

Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. Utility locations are per observed evidence.

LEGEND OF SYMBOLS

- air conditioning unit
- irrigation control valve
- cable tv
- electric meter
- fence or guardrail
- fire dept. connection
- fire hydrant
- bollard
- area drain
- grate inlet
- gas valve
- gas meter
- gas well
- sanitary sewer manhole
- storm water manhole
- telephone manhole
- tank fill lid
- telephone pedestal
- traffic signal pole
- utility clean out
- comm. utility cabinet
- electric utility cabinet
- comm. utility vault
- elect. utility vault
- water utility vault
- utility/service pole
- utility sign
- water shutoff
- water valve
- well
- water meter
- cable tv riser
- air release valve
- utility markings
- tree
- shrub/decorative tree or tree with diameter < 4 in.
- contour lines



PROPERTY DESCRIPTION

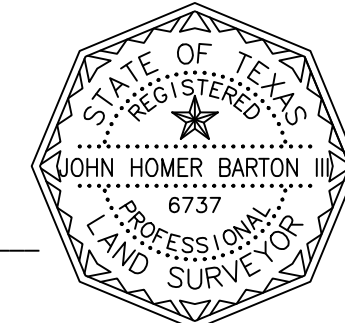
Being a tract of land out of the A. Johnson Survey, Abstract Number 123 in the City of Rockwall, Rockwall County, Texas, and being a portion of that tract of land described by deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded under Document Number 20130000500385, Official Public Records, Rockwall County, Texas.

TITLE COMMITMENT NOTES

This survey was prepared without the benefit of a commitment for title insurance. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey.

SURVEYOR'S CERTIFICATE

This is to certify that I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. Fieldwork was completed on January 27, 2021. Date of Plat/Map: January 28, 2021



John H. Barton III, RPLS# 6737

TERMS OF ACCEPTANCE OF SURVEY

This survey is issued pursuant to a real estate transaction and is appurtenant to the title commitment referenced in the "Title Commitment Notes" This survey is issued for use in such transaction. Notwithstanding any of the above statements, the surveyor has a contractual relationship with one client or entity. Client is responsible for reviewing/requested revisions by other parties must be received by or through such entity. Client is responsible for reviewing survey (including, but not limited to: notations; existence or lack of spelling/grammatical/typographical errors; certified parties; dates; instruments) within thirty (30) days of the date of plat or map. After such time has passed, client accepts survey as issued, and further revisions are not embraced by the above certification. Additional or altered commitments for title insurance will require an new or re-issued survey. Please feel free to request pricing for this at info@bcsw.com, or call (817) 864-1957.

Line Data Table

Line #	Distance	Bearing
L1	24.04'	N46°14'32"W
L2	8.08'	N01°4'33"W
L3	61.12'	N49°52'23"W
L4	26.18'	N59°29'25"W
L5	9.95'	N26°04'50"E
L6	52.01'	N18°38'36"W
L7	14.08'	N63°53'02"W
L8	118.21'	N18°38'36"W
L9	120.00'	N70°12'41"W
L10	173.23'	N71°47'52"W
L11	184.22'	N06°11'04"W
L12	142.77'	N00°57'49"W
L13	52.00'	N03°59'12"W
L14	15.18'	N08°23'58"W
L15	80.00'	N55°02'34"W
L16	11.91'	S86°43'34"W

Curve Data Table

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	376.00'	443.00'	048°37'50"	N25°33'28"W	364.82'
C2	61.10'	364.00'	009°37'01"	N54°40'54"W	61.03'
C3	228.22'	321.00'	040°44'09"	N39°07'20"W	223.45'
C4	447.41'	526.00'	048°44'05"	N44°09'22"E	434.04'
C5	4.86'	406.00'	000°41'12"	N19°26'43"E	4.86'
C6	23.18'	1476.00'	000°54'00"	N18°39'08"E	23.18'
C7	415.29'	1000.00'	023°47'40"	N05°42'46"E	412.31'
C8	374.82'	424.00'	050°39'01"	N68°39'41"W	362.73'
C9	210.62'	606.00'	019°54'48"	N53°17'35"W	209.56'
C10	137.60'	574.00'	013°44'06"	N56°22'56"W	137.27'
C11	41.19'	960.00'	002°27'29"	N33°44'40"E	41.18'
C12	26.02'	1040.00'	001°26'00"	S34°15'20"W	26.02'
C13	137.05'	574.00'	013°40'50"	N32°28'18"W	136.73'

TREE TABLE

TAG#	DIAMETER (INCHES)	GEN. SPECIES
609	11	CEDAR
610	11	CEDAR
611	11	CEDAR
612	11	CEDAR
613	22 (MULTI-TRUNK)	BOIS D'ARC
614	20 (MULTI-TRUNK)	OAK
615	15 (MULTI-TRUNK)	CEDAR
616	10	CEDAR
617	10	CEDAR
618	10	CEDAR
619	10	CEDAR
620	10	CEDAR
621	11	CEDAR
622	11	CEDAR
623	11	CEDAR
624	10	CEDAR
625	10	CEDAR
626	10	CEDAR
639	10	CEDAR
640	10	CEDAR
641	11	MULTI
642	10	CEDAR
643	10	CEDAR
644	12	CEDAR
645	10	CEDAR
646	12	WILLOW
647	14 (MULTI-TRUNK)	WILLOW
648	13	HACKBERRY
649	11 (MULTI-TRUNK)	LOCUST
650	5	LOCUST
651	9	ELM
652	17 (MULTI-TRUNK)	CEDAR
653	17 (MULTI-TRUNK)	CEDAR
654	13	CEDAR
655	12	CEDAR
656	16 (MULTI-TRUNK)	CEDAR
657	12	CEDAR
658	12	CEDAR
659	10	CEDAR
660	10	CEDAR
661	10	CEDAR

TREE SURVEY

A TRACT SITUATED IN THE A. JOHNSON SURVEY, ABSTRACT #123 CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

BCS
BARTON CHAPA SURVEYING
 5200 State Highway 121
 Colleyville, TX 76034
 Phone: 817-864-1957
 info@bcsw.com
 TBPLS Firm #10194474

JOB NO. 2020.105.001
 DRAWN: BCS
 CHECKED: JHB

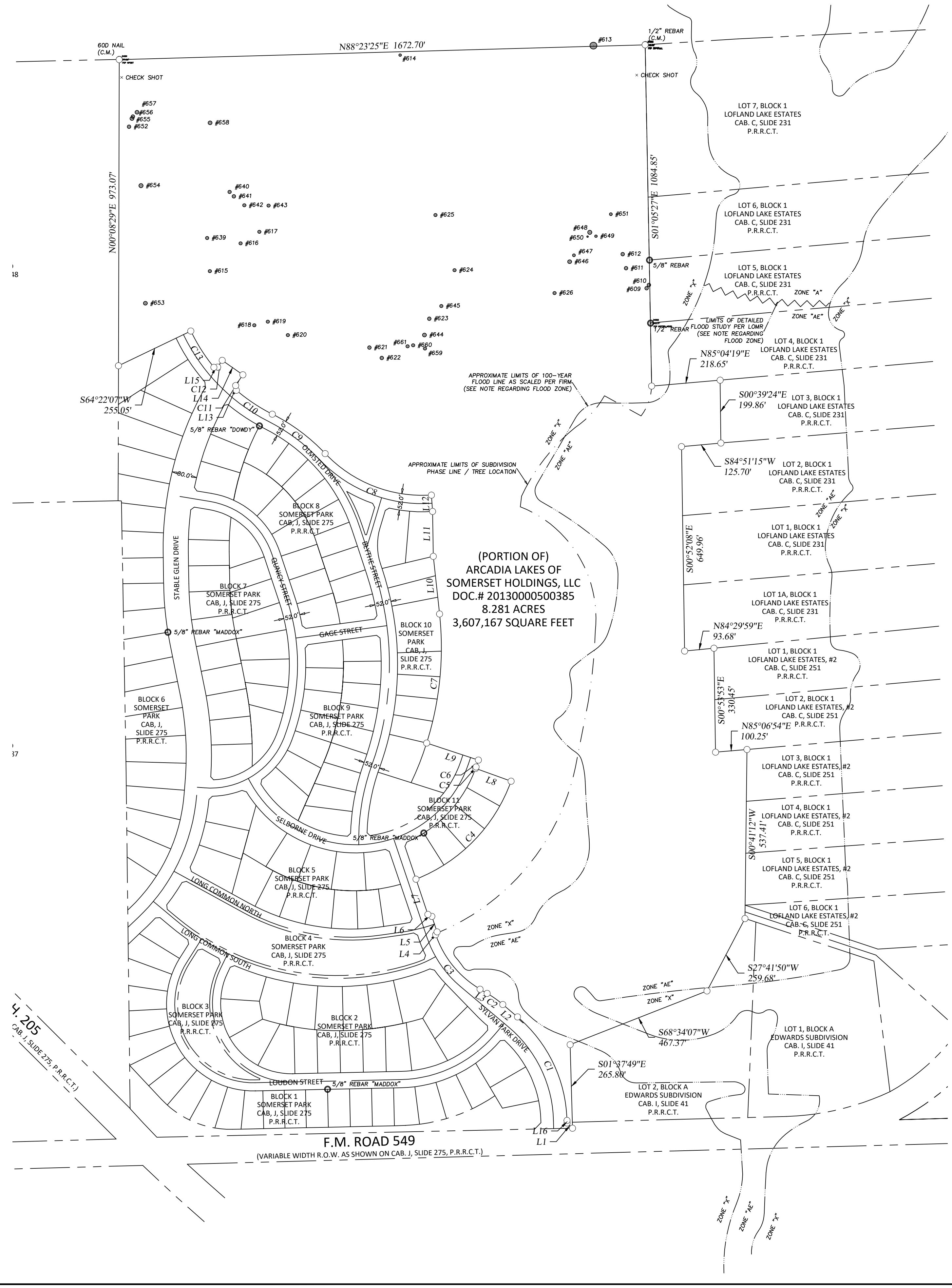
TABLE OF REVISIONS

DATE	SUMMARY

SOMERSET PARK

ROCKWALL, TEXAS

SHEET:
VO1
 TREE SURVEY



TAG #	DIAMETER (INCHES)	GEN. SPECIES	TREE CONDITION ASSESSMENT	REMOVE	REMAIN	MITIGATION INCHES
609	11	CEDAR	HEALTHY	X		5.5
610	11	CEDAR	HEALTHY	X		5.5
611	11	CEDAR	HEALTHY	X		5.5
612	11	BOIS D'ARC	HEALTHY	X		5.5
613	22	OAK MULTI TRUNK	HEALTHY	X		22
614	20	CEDAR MULTI-TRUNK	HEALTHY	X		10
615	15	CEDAR MULTI-TRUNK	HEALTHY	X		7.5
616	10	CEDAR	HEALTHY	X		5
617	10	CEDAR	HEALTHY	X		5
618	10	CEDAR	HEALTHY	X		5
619	10	CEDAR	HEALTHY	X		5
620	10	CEDAR	HEALTHY	X		5
621	11	CEDAR	HEALTHY	X		5.5
622	11	CEDAR	HEALTHY	X		5.5
623	11	CEDAR	HEALTHY	X		5.5
624	10	CEDAR	HEALTHY	X		5
625	10	CEDAR	HEALTHY	X		5
626	10	CEDAR	HEALTHY	X		5
639	10	CEDAR	HEALTHY	X		5
640	10	CEDAR	HEALTHY	X		5
641	11	CEDAR	HEALTHY	X		5.5
642	10	CEDAR	HEALTHY	X		5
643	10	CEDAR	HEALTHY	X		5
644	12	CEDAR	HEALTHY	X		6
645	10	CEDAR	HEALTHY	X		5
646	12	WILLOW	HEALTHY	X		12
647	14	WILLOW MULTI-TRUNK	HEALTHY	X		14
648	13	HACKBERRY	HEALTHY	X		6.5
649	11	LOCUST MULTI-TRUNK	HEALTHY	X		11
650	5	LOCUST	HEALTHY	X		5
651	9	ELM	HEALTHY	X		9
652	17	CEDAR MULTI-TRUNK	HEALTHY	X		8.5
653	17	CEDAR MULTI-TRUNK	HEALTHY	X		8.5
654	13	CEDAR	HEALTHY	X		6.5
655	12	CEDAR	HEALTHY	X		6
656	16	CEDAR MULTI-TRUNK	HEALTHY	X		8
657	12	CEDAR	HEALTHY	X		6
658	12	CEDAR	HEALTHY	X		6
659	10	CEDAR	HEALTHY	X		5
660	10	CEDAR	HEALTHY	X		5
661	10	CEDAR	HEALTHY	X		5
TOTAL MITIGATION INCHES						276.5

TREE PROTECTION NOTES

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS, IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

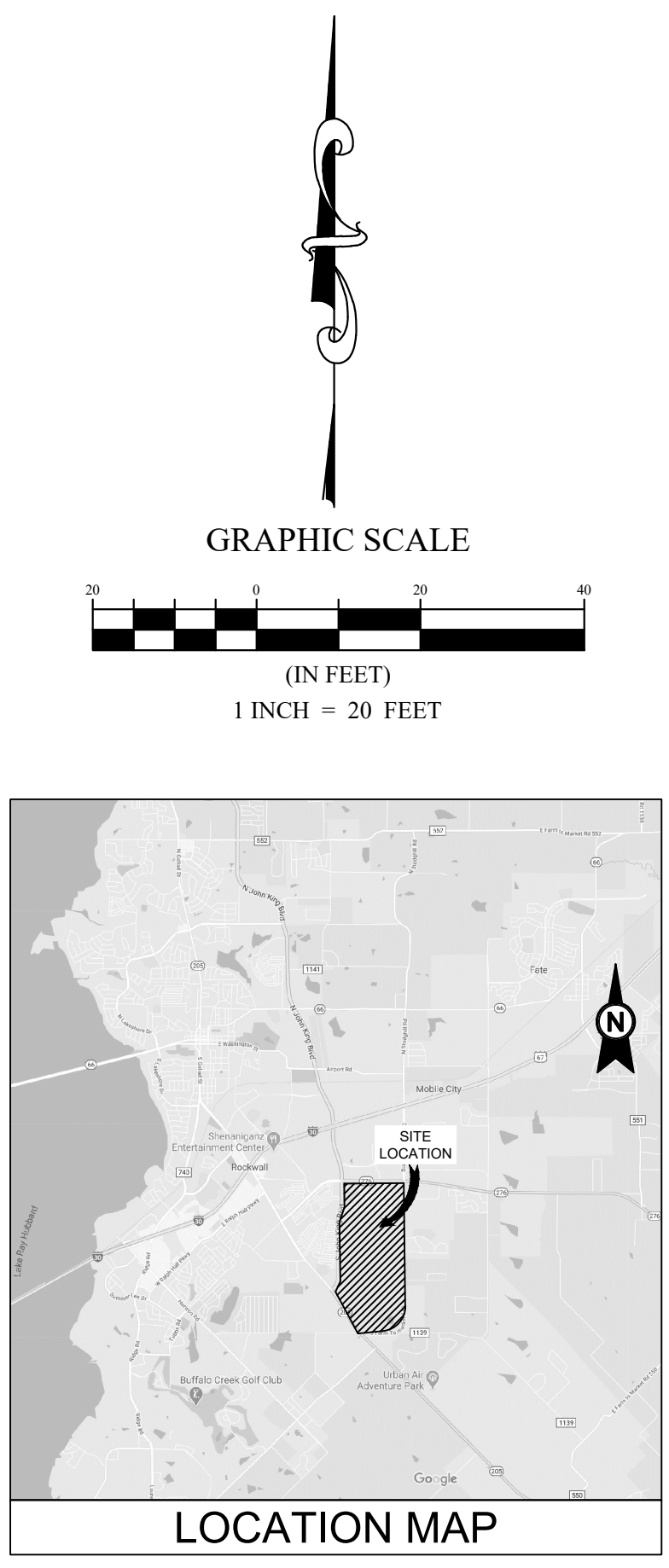
LANDSCAPE ARCHITECT/ARBORIST STATEMENT

"I AMY LONDON BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

Amy London DATE MARCH 1, 2021

TREE TRIMMING AND REMOVAL NOTES

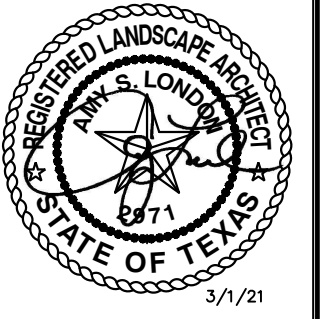
- STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
- NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
- TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
- TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
- SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.



PRESERVATION PLAN SUMMARY

TOTAL TREES SURVEYED	41
TOTAL CAL. INCHES SURVEYED	480"
QUANTITY OF PROTECTED TREES SAVED	0
CALIPER INCHES SAVED	0
QUANTITY OF PRIMARY PROTECTED TREES REMOVED	5
CALIPER INCHES REMOVED	73"
TOTAL INCHES TO BE MITIGATED	276.5"
METHOD OF MITIGATION PAY FEE (\$121.67)	\$33,641.75

NOTE: SEE LANDSCAPE PLANS FOR ADDITIONAL LANDSCAPING (BY OTHERS)



PROJECT NUMBER:	SOMERSET
PROJECT MANAGER:	ASL
DRAWN BY:	AB
CHECKED BY:	ASL
ISSUE DATE:	3/1/21

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

TREE SURVEY AND PRESERVATION PLAN

SHEET NO:
TR1.00



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: SP2021-027; ALTERNATIVE TREE MITIGATION SETTLEMENT AGREEMENT FOR SEEFRIED ROCKWALL

Attachments

Memorandum
Location Map
Applicant's Letter
Landscape Plan
Treescape Plan

Summary/Background Information

Consider a request by Nick Hobbs of BGE Engineering on behalf of Randall Schwimmer of Baker Schwimmer Ventures, LP for the approval of an *Alternative Tree Mitigation Settlement Agreement* associated with a *Warehouse/Distribution Facility* on a 23.071-acre tract of land identified as Tracts 25 & 25- 1, of the R. B. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located on the southside of the IH-30 Frontage Road east of the intersection of Corporate Crossing and IH-30, and take any action necessary.

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Alternative Tree Mitigation Settlement Agreement.



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *City Manager*
Joey Boyd, *Assistant City Manager*


FROM: Ryan Miller, *Director of Planning and Zoning*

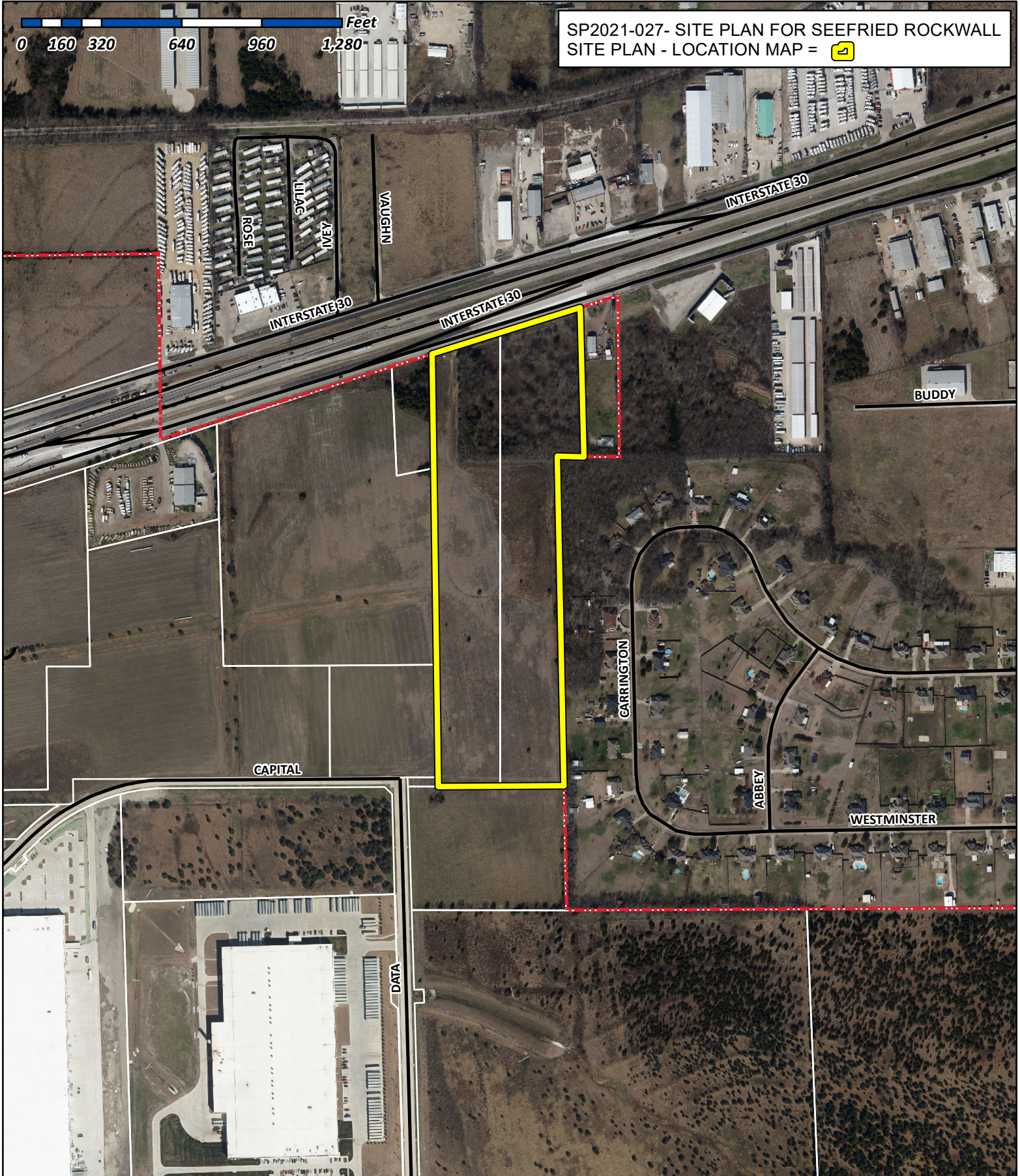
DATE: November 15, 2021

SUBJECT: SP2021-027; *Alternative Tree Mitigation Settlement Agreement for Seefried Rockwall*

The applicant, Nick Hobbs of BGE Engineering, is requesting the approval of an *Alternative Tree Mitigation Settlement Agreement*. The subject property is located on a 23.071-acre parcel of land (*i.e. Tracts 25 & 25- 1, of the R. B. Irvine Survey, Abstract No. 120*) generally located on the southside of the IH-30 Frontage Road, east of the intersection of Corporate Crossing and IH-30. On November 9, 2021, the Planning and Zoning Commission approved a *Treescape Plan* allowing the removal of trees on the subject property. This *Treescape Plan* also showed an outstanding tree mitigation balance of 2,464 caliper inches of trees. Typically, tree mitigation balances can be satisfied by [1] providing additional trees on the subject property equal to the amount necessary for mitigation, [2] providing the number of trees equal to the amount necessary for mitigation to the Parks and Recreation Department, or [3] purchasing 20% of the inches in tree credits and doing [1] or [2] with the remaining 80% of the balance. In this case, the applicant has chosen to request an *Alternative Tree Mitigation Settlement Agreement* to pay 100% of the balance to the *Tree Fund*. This equates to \$246,400.00 (*i.e. \$100.00 x 2,464-inches = \$246,400.00*). Staff should note that the tree preservation credit reduces from \$200.00 per inch to \$100.00 per inch when trees are being added on-site, and in this case the applicant is proposing to plant 764 caliper inches of trees on-site. According to Section 05(G) of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), "...the City Council -- upon recommendation from the Planning and Zoning Commission -- may consider an alternative tree mitigation settlement agreement where, due to hardship, the applicant is unable to meet the requirements of this Article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant." On November 9, 2021, the Planning and Zoning Commission reviewed the applicant's request and approved a motion to recommend approval of the *Alternative Tree Mitigation Settlement Agreement*. Since the applicant is proposing to pay the full amount for the tree preservation credits staff has placed this item on the consent agenda; however, should the City Council have any questions staff will be available at the November 15, 2021 City Council meeting.

0 160 320 640 960 1,280 Feet

SP2021-027- SITE PLAN FOR SEEFRIED ROCKWALL
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





November 8, 2021

Mr. Ryan Miller
AICP Director of Planning & Zoning
City of Rockwall
385 South Goliad Street
Rockwall, Texas 75087

RE: 22.234-Acre Industrial Spec Site Tree Mitigation Letter

Dear Mr. Miller,

As part of the Site Plan submittal, we are requesting an alternative tree mitigation settlement agreement. This is due to the hardship created by the excessive caliper inches of protected trees that we are required to mitigate per the City's Unified Development Code (UDC).

After City review, it was determined that the total mitigation balance is 2,464 caliper inches. Since trees are planted on site, the mitigation fee is assessed at \$100 per caliper inch which equates to \$246,400. Per discussion with the City, if we are able to provide a landscaping proposal to plant the equivalent amount caliper inches at a lesser price, we will be able to use that cost as the basis for the mitigation fee amount owed to the City.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Nick Hobbs'.

Nick Hobbs, PE
BGE, Inc.
469-644-1664



BGE, Inc.
 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
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OWNER/DEVELOPER
SEEFRIED INDUSTRIAL
 3030 LBJ Freeway, Suite 1650
 Dallas, TX 75234
 Contact: Jonathan Stites
 Tel: 214-393-6066

ARCHITECT
PROSS DESIGN GROUP, INC.
 5310 Harvest Hill Rd, Suite 180
 Dallas, Texas 75230
 Contact: Josh Kozuch
 Tel: 972-759-1400

PROJECT NAME
LANDSCAPE PLAN
SEEFRIED ROCKWALL
 LOT AND BLOCK
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JUSTIN F. LOECKER, P.E.
 TEXAS REGISTRATION NO. 136868

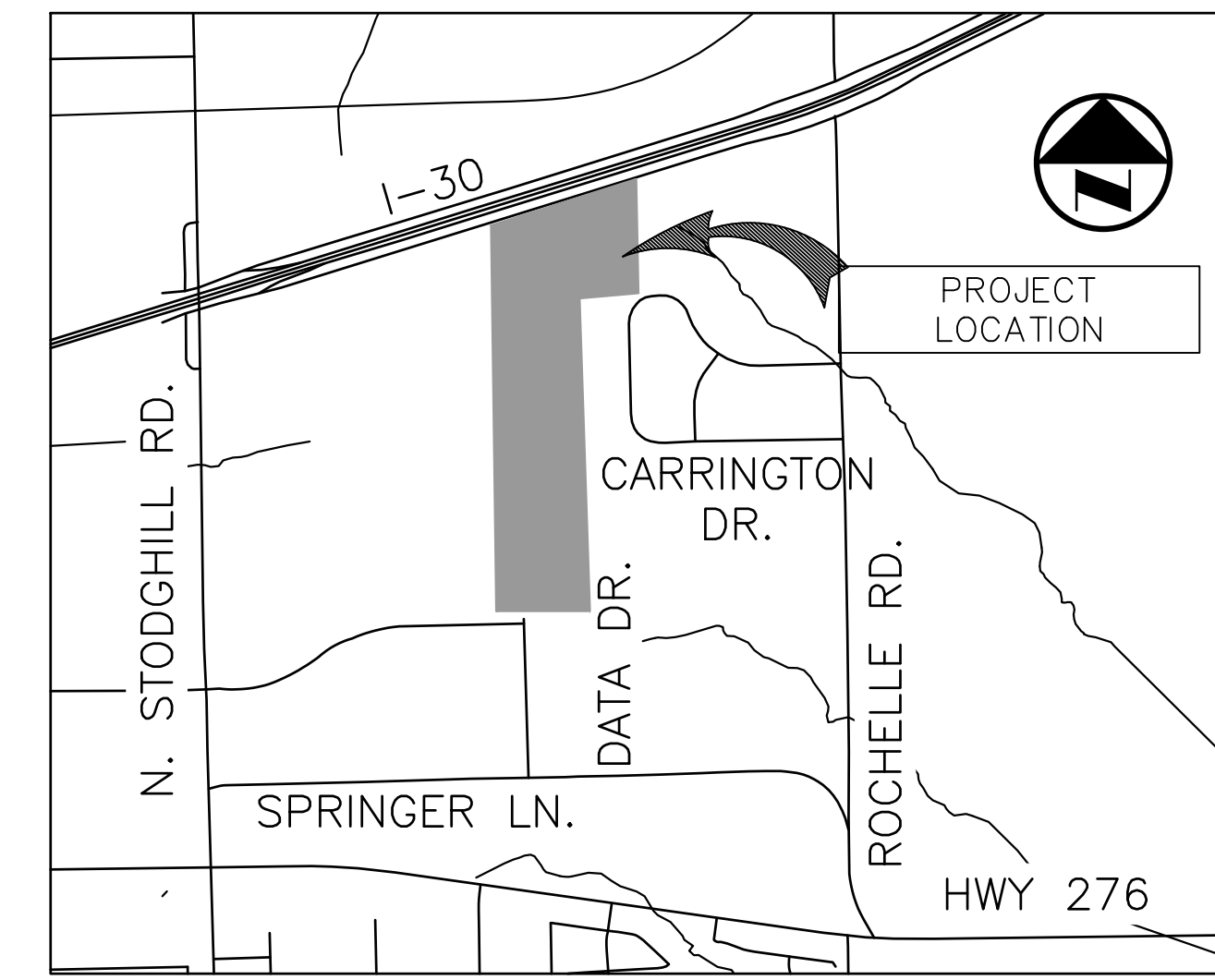
!CAUTION !
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

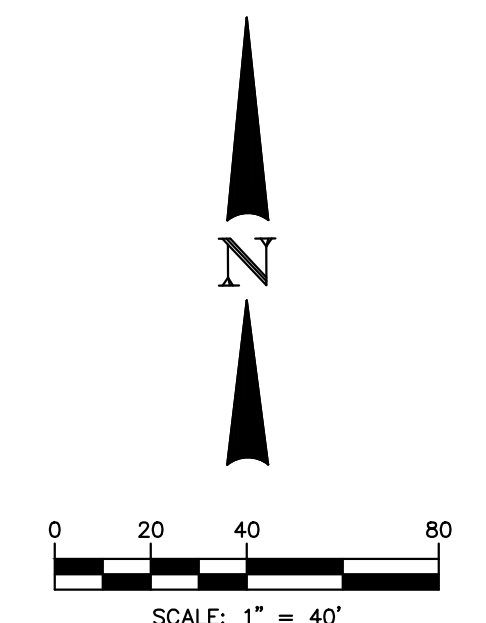
REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: SRF
 DESIGNED BY: HEM
 DATE: OCTOBER 2021
 PROJECT NUMBER: 9028-00

SHEET NO.
 LS-1



VICINITY MAP
 (NOT TO SCALE)



LEGEND

- STREET TREE, 4" CAL.
- PARKING LOT TREE, 4" CAL.
- STREET BUFFER TREE, 4" CAL.
- RESIDENTIAL ADJACENCY TREE, 4" CAL.
- DETENTION AREA TREE, 4" CAL.
- SHRUBS, 5 GAL.

PROJECT DATA			
	LOT 1	LOT 2	
BUILDING 1 AREA	157,720 SF	BUILDING 2 AREA	157,720 SF
REQUIRED PARKING (1000 SF)	158 CARS	REQUIRED PARKING (1000 SF)	158 CARS
REQUIRED ADA PARKING	6 CARS	REQUIRED ADA PARKING	6 CARS
PROVIDED CAR PARKS	176 CARS	PROVIDED CAR PARKS	155 CARS (15 FUTURE)
PROVIDED HANDICAP SPACES	10 CARS	PROVIDED HANDICAP SPACES	10 CARS
BUILDING COVERAGE	32.70%	BUILDING COVERAGE	32.70%

APPROVED: _____
 Planning & Zoning Commission, Chairman Date _____
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 Mayor, City of Rockwall City Secretary City Engineer

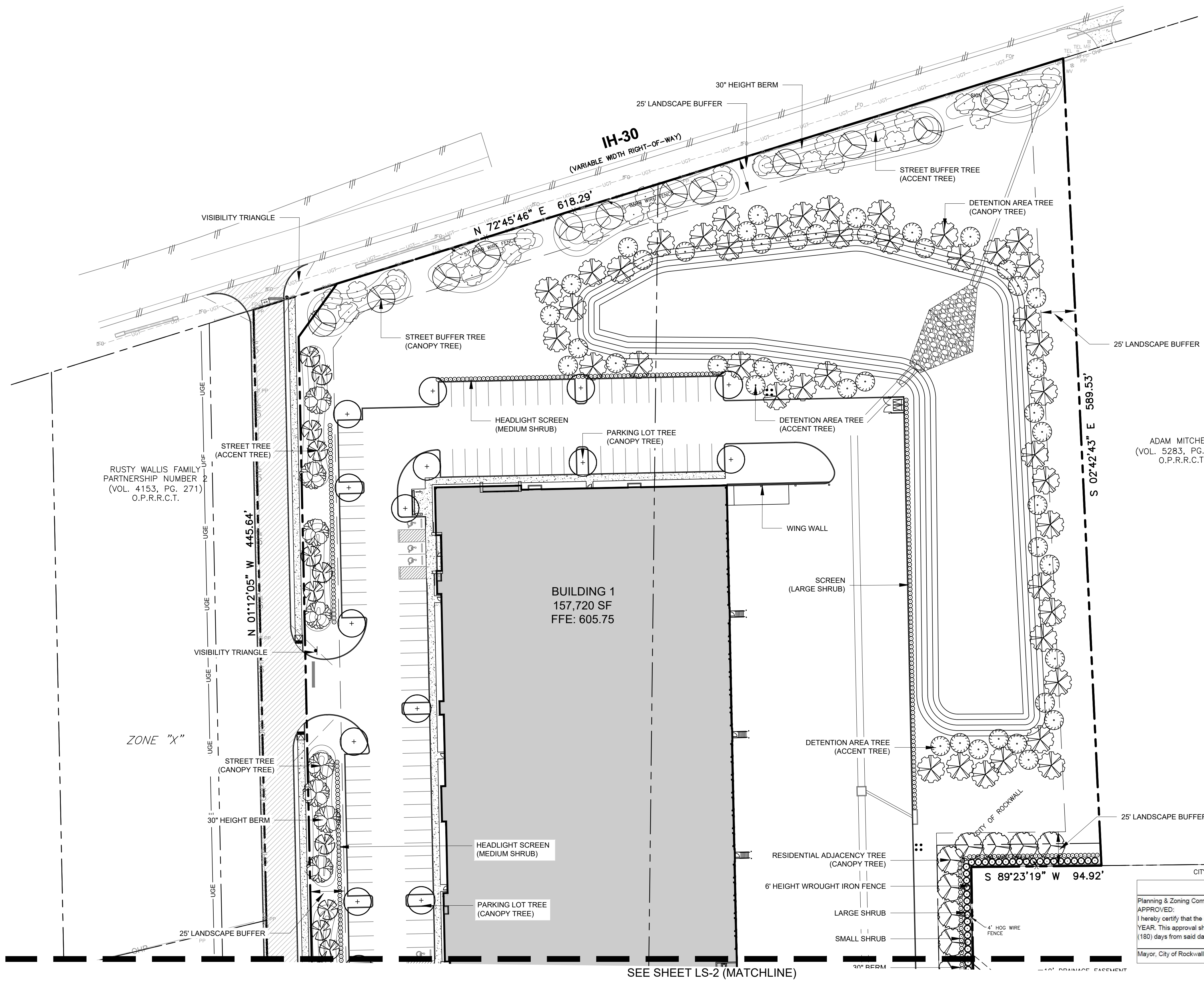
OWNER
BAKER SCHWIMMER VENTURES LP
PHASE 17 INVESTMENTS LP
 2633 McKinney Ave, Ste 130-150
 Dallas, TX 75204
 Contact: Randall Schwimmer
 Tel: 214-281-8892

DEVELOPER
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 3030 LBJ Freeway, Suite 1650
 Dallas, TX 75234
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BGE, Inc.
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 Contact: Nick Hobbs • (972)-464-4865

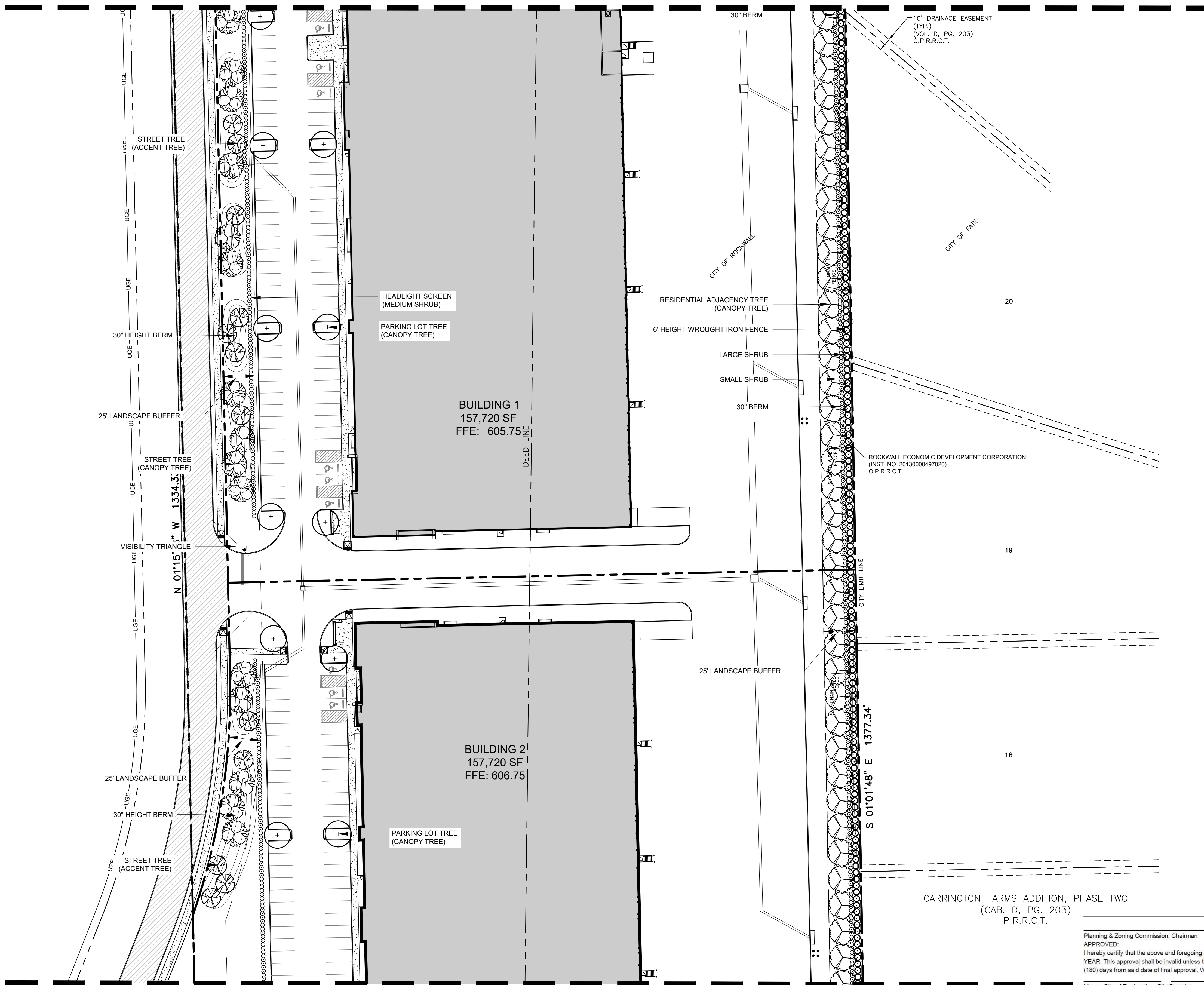
ARCHITECT
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 5310 Harvest Hill Rd, Suite 180
 Dallas, Texas 75230
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LANDSCAPE PLAN
 (CITY CASE NO. SP2021-027)
SEEFRIED ROCKWALL
 11.126 ACRES AND 11.108 ACRES BEING SITUATED
 IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: OCTOBER 15, 2021
 RESUBMITTED: NOVEMBER 2, 2021

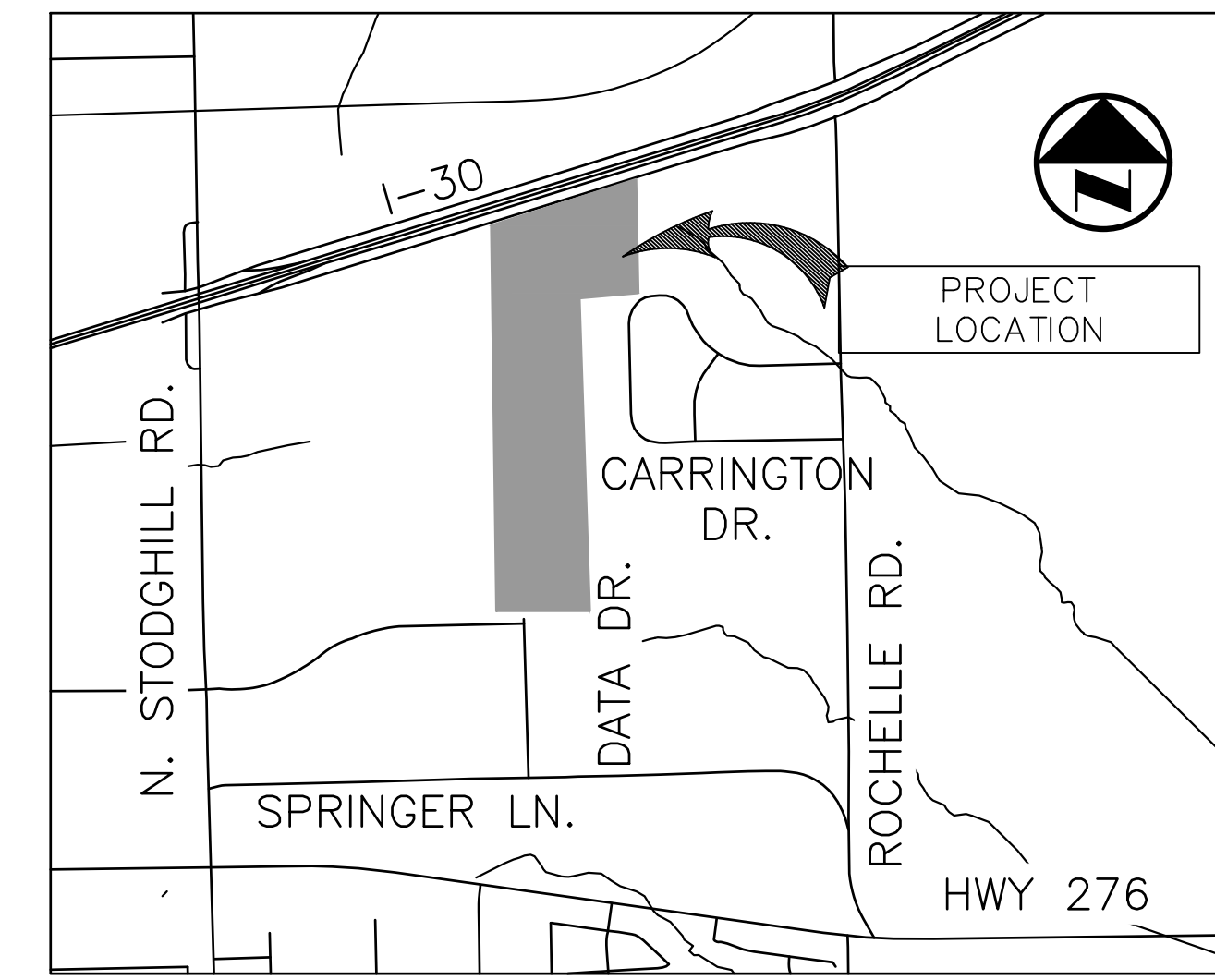


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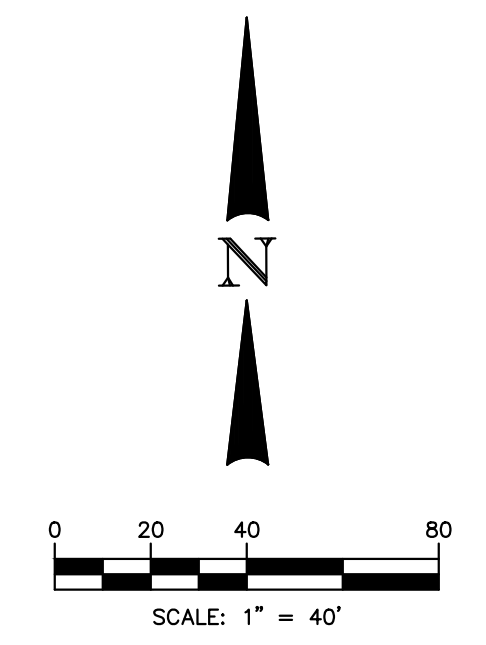
SEE SHEET LS-1 (MATCHLINE)



SEE SHEET LS-3 (MATCHLINE)



VICINITY MAP
(NOT TO SCALE)



LEGEND

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- PARKING LOT TREE, 4" CAL.
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Mayor, City of Rockwall City Secretary City Engineer

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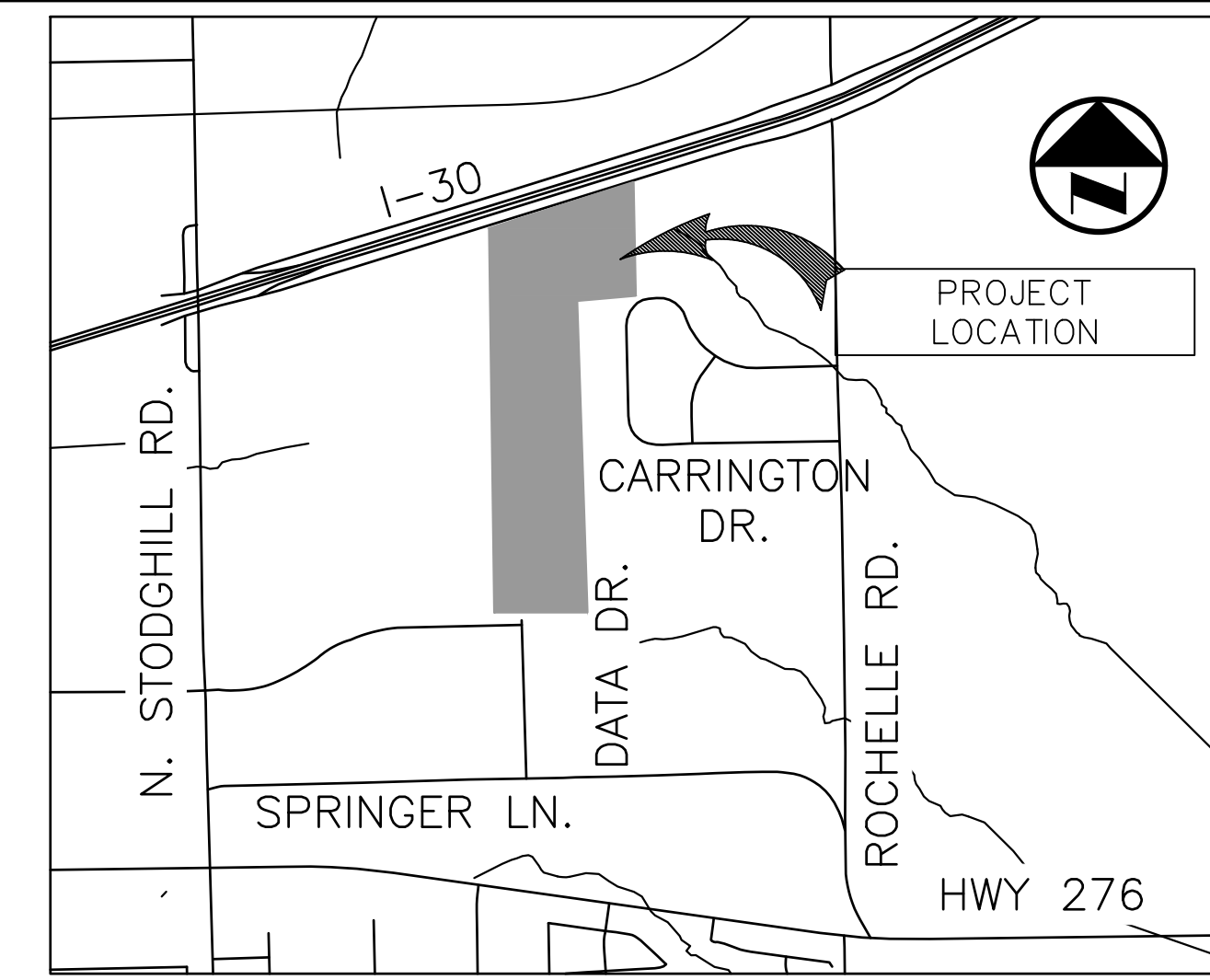
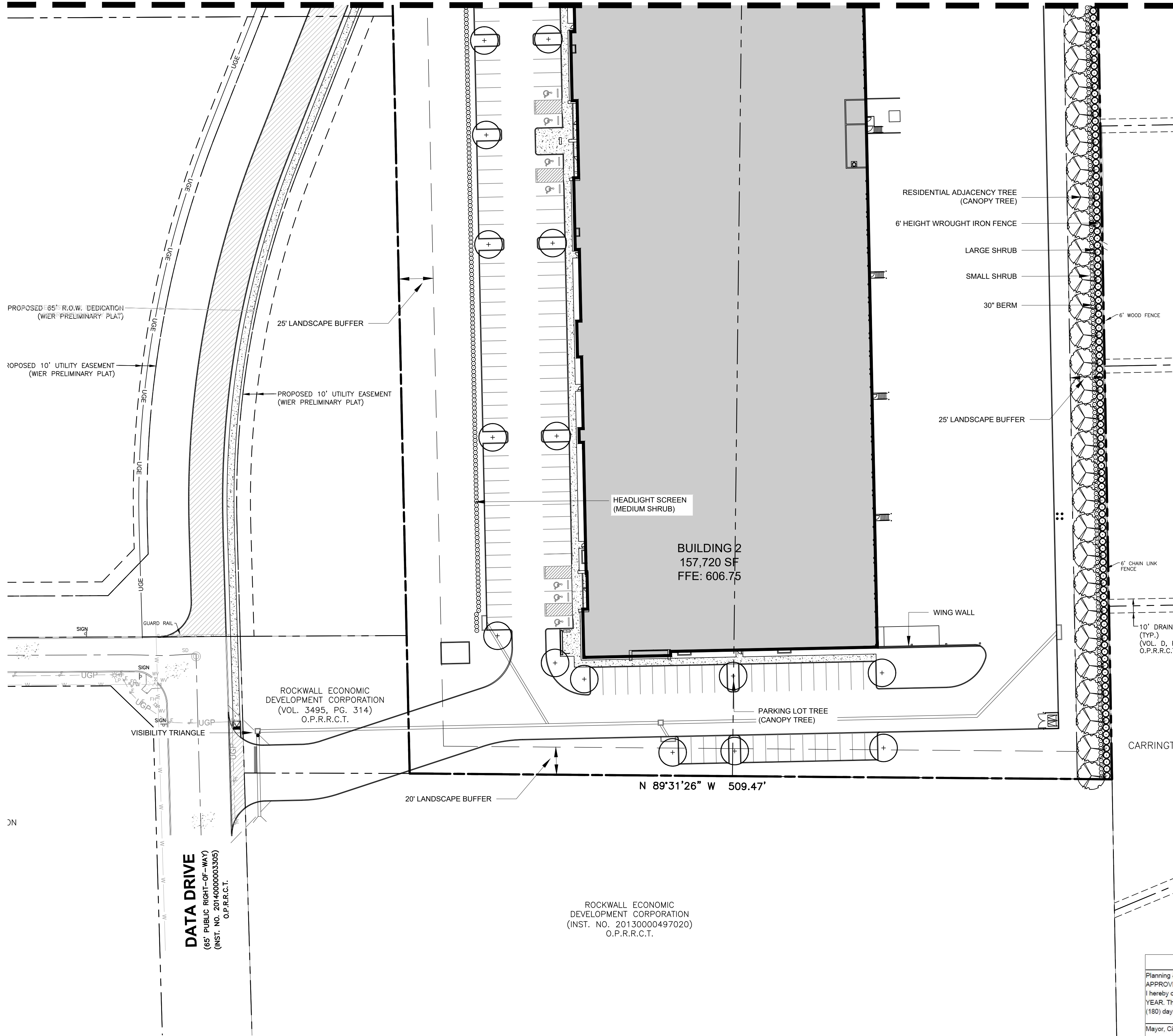
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REVISIONS		
REV. NO.	DATE	DESCRIPTION

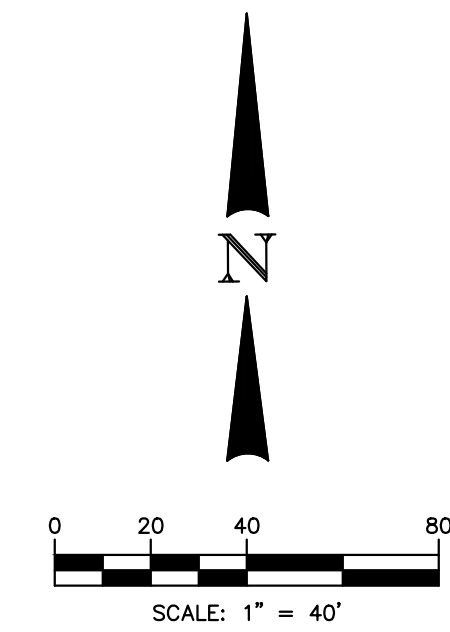
CHECKED BY: SRF
 DESIGNED BY: HEM
 DATE: OCTOBER 2021
 PROJECT NUMBER: 9028-00

SHEET NO.
 LS-2

SEE SHEET LS-2 (MATCHLINE)



VICINITY MAP
(NOT TO SCALE)



LEGEND

- STREET TREE, 4" CAL.
- PARKING LOT TREE, 4" CAL.
- STREET BUFFER TREE, 4" CAL.
- RESIDENTIAL ADJACENCY TREE, 4" CAL.
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LANDSCAPE PLAN
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CHECKED BY: SRF
 DESIGNED BY: HEM
 DATE: OCTOBER 2021
 PROJECT NUMBER: 9028-00

SHEET NO.
LS-3

LANDSCAPE TABULATIONS

TOTAL SITE AREA (23.07 Acres; 1,004,958 SF)

OVERALL LANDSCAPE REQUIREMENT FOR LIGHT INDUSTRIAL:

15% OF TOTAL SITE AREA TO BE LANDSCAPE
1,004,958 SF X 15% = 150,743.7 SF

LANDSCAPE AREA REQUIRED: 150,744 SF (15%)
LANDSCAPE AREA PROVIDED: 279,027 SF (28%)

IH-30 OVERLAY REQUIREMENTS:

20' LANDSCAPE BUFFER

LANDSCAPE BUFFER REQUIRED: 20'
LANDSCAPE BUFFER PROVIDED: 25'

2 CANOPY TREES PER 100 LF OF STREET FRONTAGE

618 LF ALONG IH-30 / 100 = 6.18
6.18 X 2 = 12.36

CANOPY TREES REQUIRED: 12
CANOPY TREES PROVIDED: 12

4 ACCENT TREES PER 100 LF OF STREET FRONTAGE

618 LF ALONG IH-30 / 100 = 6.18
6.18 X 4 = 24.72

ACCENT TREES REQUIRED: 25
ACCENT TREES PROVIDED: 25

STREET TREE REQUIREMENTS:

10' BUFFER

BUFFER REQUIRED: 10'
BUFFER PROVIDED: 25'

1 CANOPY TREE PER 50 LF OF STREET FRONTAGE

1,169 LF ALONG DATA DRIVE / 50 = 23.38

CANOPY TREES REQUIRED: 23
CANOPY TREES PROVIDED: 23

1 ACCENT TREE PER 50 LF OF STREET FRONTAGE

1,169 LF ALONG DATA DRIVE / 50 = 23.38

ACCENT TREES REQUIRED: 23
ACCENT TREES PROVIDED: 23

PARKING LOT REQUIREMENTS:

AREA OF AT LEAST 5% OF TOTAL PARKING SPACE AREA TO BE LANDSCAPED

346 PARKING SPACES X (180 SF) = 65,700 SF
5% OF 62,280 SF = 3,114 SF

PARKING LOT LANDSCAPE REQUIRED: 3,114 SF (5%)
PARKING LOT LANDSCAPE PROVIDED: 8,749 SF (14%)

1 CANOPY TREE PER 10 PARKING SPACES

346 PARKING SPACES / 10 = 34.6

CANOPY TREES REQUIRED: 35
CANOPY TREES PROVIDED: 40

HEADLIGHT SCREEN OF PARKING FACING ROAD

HEADLIGHT SCREEN PROVIDED: YES

RESIDENTIAL ADJACENCY REQUIREMENTS:

20' BUFFER

REQUIRED BUFFER: 20'
PROVIDED BUFFER: 25'

THREE (3) TIERED SCREEN

SCREEN REQUIRED: CANOPY TREE-LARGE & SMALL SHRUBS - 6' IRON FENCE
SCREEN PROVIDED: CANOPY TREE-LARGE & SMALL SHRUBS - 6' IRON FENCE

1 CANOPY TREE PER 20 LF OF ADJACENCY

1,472 LF OF ADJACENCY / 20 = 73.6

CANOPY TREES REQUIRED: 74
CANOPY TREES PROVIDED: 74

DETENTION REQUIREMENTS:

1 CANOPY TREE PER 750 SF OF DETENTION AREA

31,369 SF OF DETENTION AREA / 750 = 41.8

CANOPY TREES REQUIRED: 42
CANOPY TREES PROVIDED: 42

1 ACCENT TREE PER 750 SF OF DETENTION AREA

31,369 SF OF DETENTION AREA / 750 = 41.8

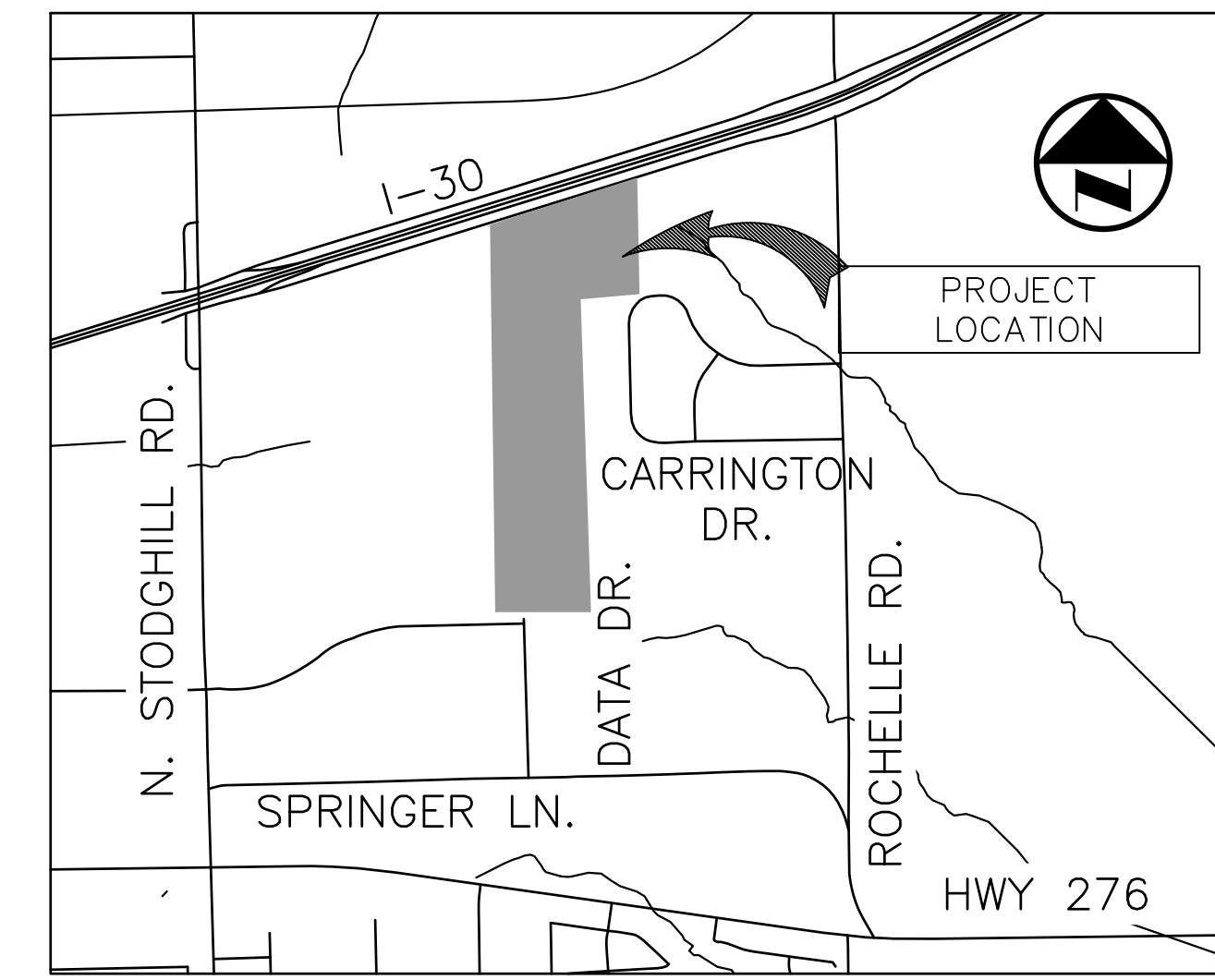
ACCENT TREES REQUIRED: 42
ACCENT TREES PROVIDED: 42

LANDSCAPE NOTES

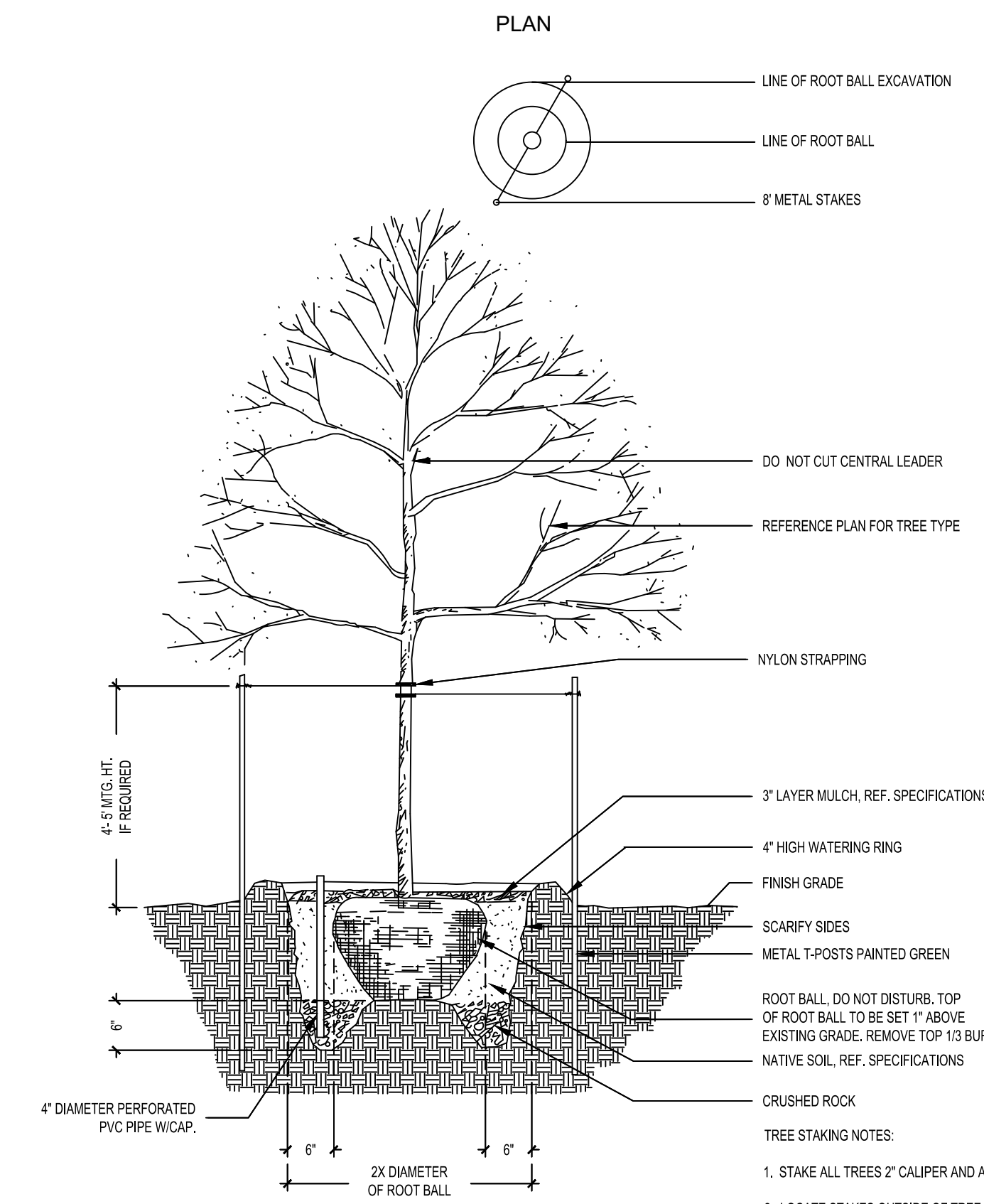
- ALL TREES MUST BE MINIMUM OF FOUR (4) INCH CALIPER AT TIME OF PLANTING.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE OF ALL LANDSCAPE AREAS IS REQUIRED. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (SUBSECTION 05.04, OF ARTICLE 08)
- TREES SHALL BE PLANTED AS LEAST FOUR (4)' FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7)' FEET.
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9)' FEET.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).
- NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
- NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".

PLANT LIST

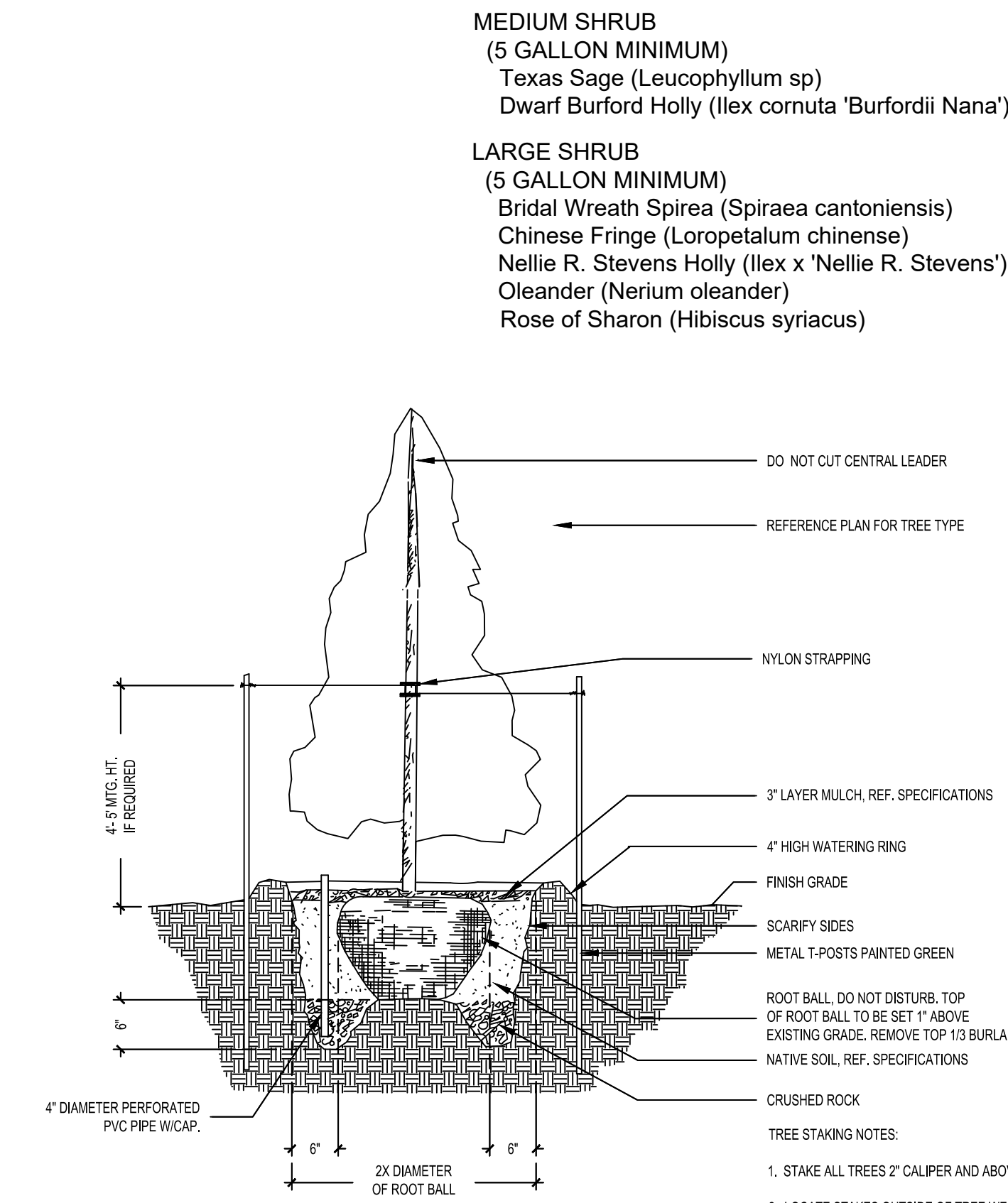
- CANOPY TREE**
(4" caliper minimum @ DBH)
Bald Cypress (Taxodium distichum)
Bur Oak (Quercus macrocarpa)
Cedar Elm (Ulmus crassifolia)
Chinquapin Oak (Quercus muehlenbergii)
Homestead Elm (Ulmus 'Homestead')
Lacebark Elm (Ulmus parvifolia)
Live Oak (Quercus virginiana)
October Glory Maple (Acer rubrum 'October Glory')
Texas Ash (Fraxinus texensis)
Texas Red Oak (Quercus buckleyi)
- ORNAMENTAL TREE**
(4' height minimum)
Downy Hawthorn (Crataegus mollis)
Eastern Redbud (Cercis canadensis)
Mexican Plum (Prunus mexicana)
Possumhaw Holly (Ilex decidua)
Wax Myrtle (Myrica cerifera)
Yaupon Holly (Ilex vomitoria)
- SMALL SHRUB**
(5 GALLON MINIMUM)
Barberry (Berberis thunbergii 'Crimson Pygmy')
Dwarf Yaupon Holly (Ilex vomitoria 'Nana')
Yucca (Yucca sp.)
Juniper (Juniperus sp.)
Japanese Boxwood (Buxus japonica)
Red Yucca (Hesperaloe parvifolia)
- MEDIUM SHRUB**
(5 GALLON MINIMUM)
Texas Sage (Leucophyllum sp.)
Dwarf Burford Holly (Ilex cornuta 'Burfordii Nana')
- LARGE SHRUB**
(5 GALLON MINIMUM)
Bridal Wreath Spirea (Spiraea cantoniensis)
Chinese Fringe (Loropetalum chinense)
Nellie R. Stevens Holly (Ilex x 'Nellie R. Stevens')
Oleander (Nerium oleander)
Rose of Sharon (Hibiscus syriacus)



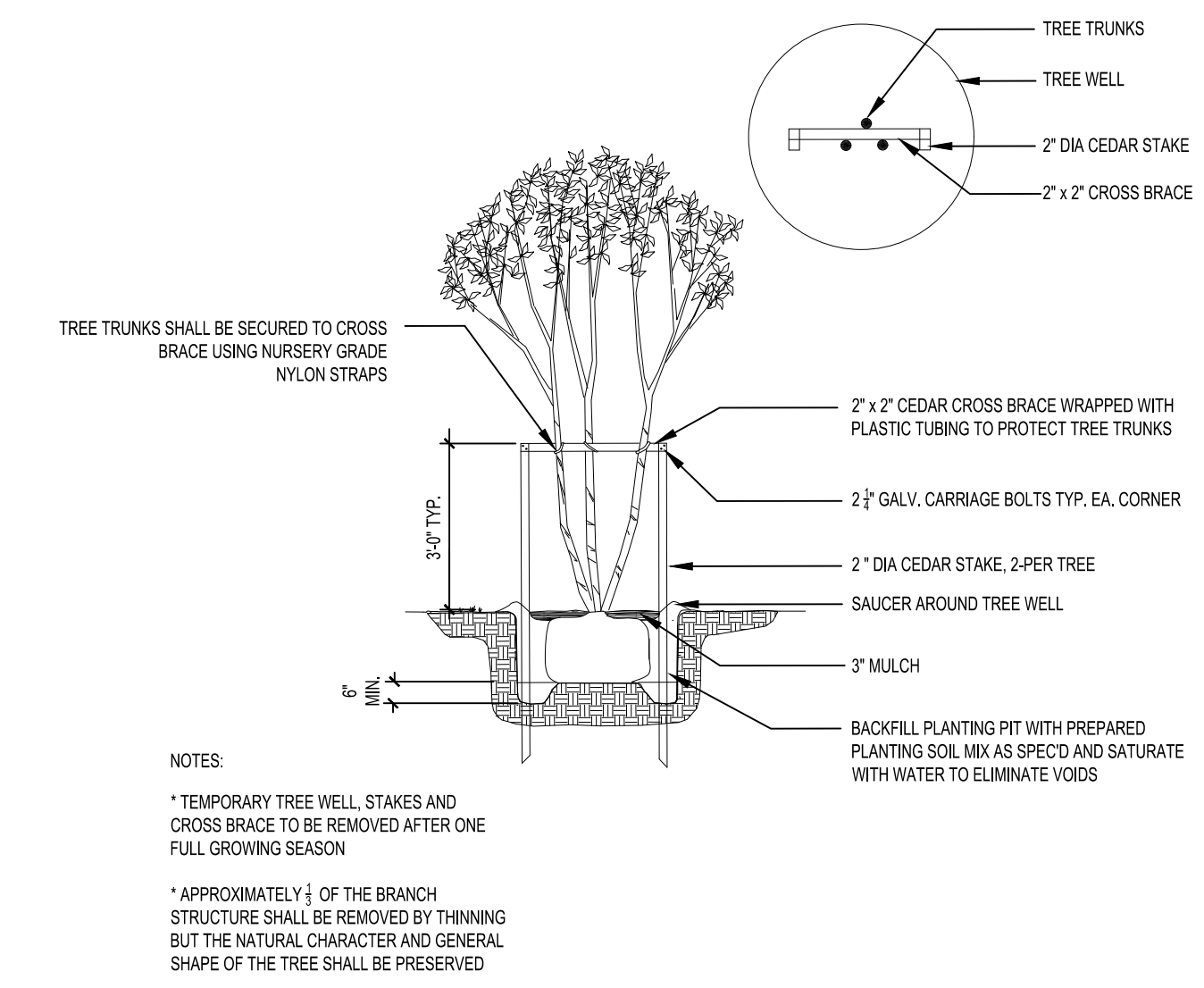
VICINITY MAP
(NOT TO SCALE)



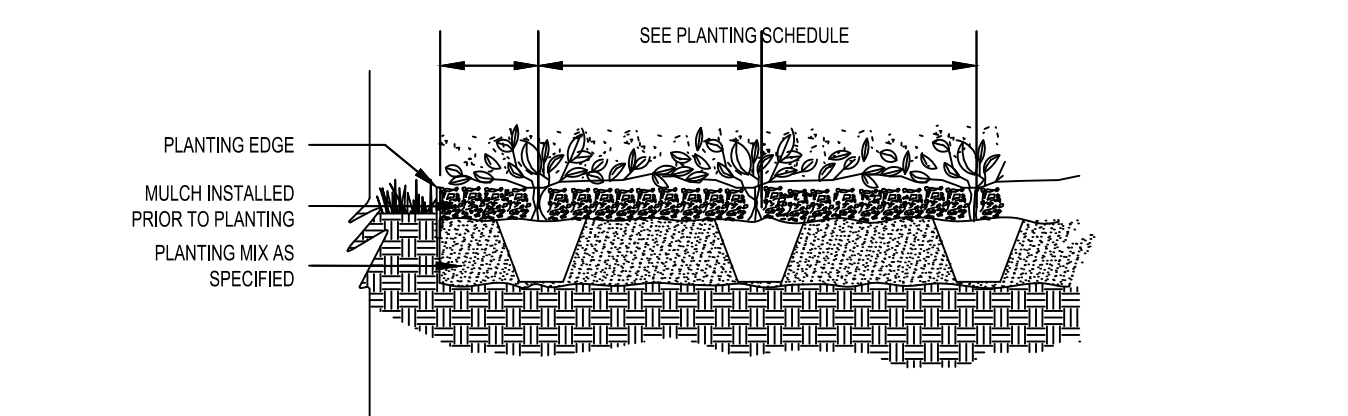
A SHADE TREE PLANTING
SECTION NOT TO SCALE



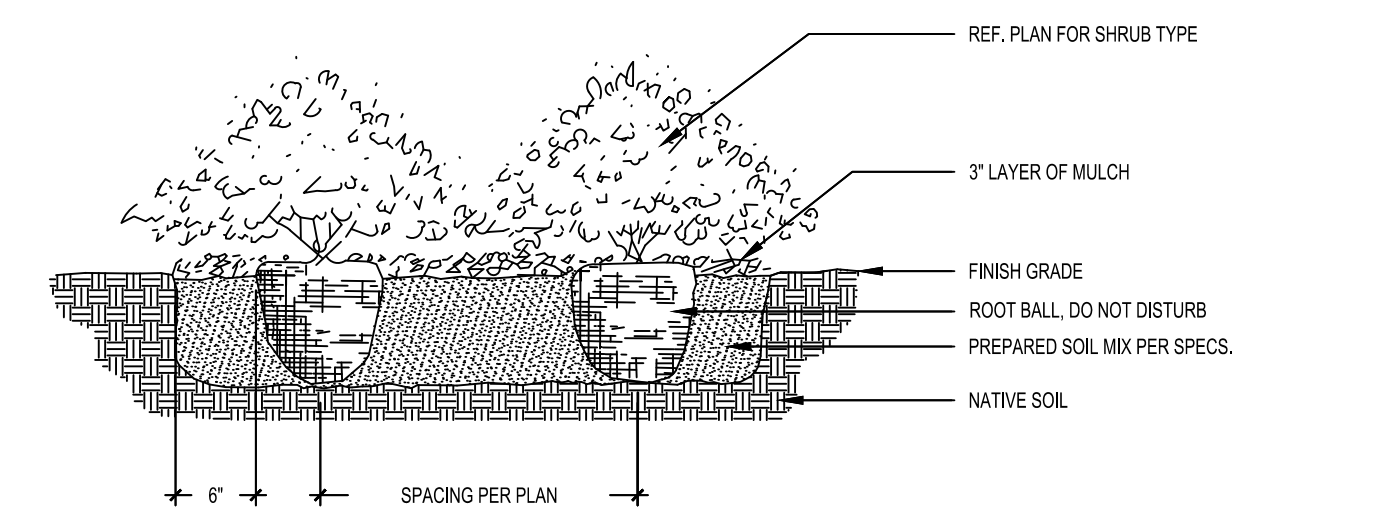
B EVERGREEN TREE PLANTING
SECTION NOT TO SCALE



D ORNAMENTAL / MULTI-TRUNK TREE PLANTING
SECTION / ELEVATION NO TO SCALE



E GROUNDCOVER PLANTING
SECTION NOT TO SCALE



C SHRUB PLANTING
SECTION NOT TO SCALE

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IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: OCTOBER 15, 2021
RESUBMITTED: NOVEMBER 2, 2021

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
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OWNER/DEVELOPER
SEEFRIED INDUSTRIAL
3030 LBJ Freeway, Suite 1650
Dallas, TX 75234
Contact: Jonathan Stites
Tel: 214-393-6066

ARCHITECT
PROSS DESIGN GROUP, INC.
5310 Harvest Hill Rd, Suite 180
Dallas, Texas 75230
Contact: Josh Kozuch
Tel: 972-759-1400

PROJECT NAME
LANDSCAPE PLAN
SEEFRIED ROCKWALL
LOT AND BLOCK
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
JUSTIN F. LOECKER, P.E.
TEXAS REGISTRATION NO. 136868

!CAUTION !
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: SRF
DESIGNED BY: HEM
DATE: OCTOBER 2021
PROJECT NUMBER: 9028-00

SHEET NO.
LS-4



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Amy Williams, P.E., Director of Public Works/City Engineer

DATE: November 15, 2021

SUBJECT: STANDARD UTILITY AGREEMENT WITH TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) FOR IH-30 FROM DALROCK ROAD TO SH-205

Attachments
Agreement

Summary/Background Information

The Texas Department of Transportation (TXDOT) has completed its design for the expansion of Interstate 30 (IH-30) from Dalrock Road to SH-205. Before construction begins on this portion of the IH-30 expansion, the City will be required to relocate existing City maintained water and wastewater lines that will be in conflict with the proposed construction. Volkert, Inc. recently completed a utility conflict analysis and utility relocation plans for this section of IH-30 for the City. The next step will be to proceed with entering into a *Standard Utility Agreement* with TXDOT, which determines the City and State's responsibilities for the adjustment, removal, and relocation of utilities in this portion of the IH-30 right-of-way. Based on the attached agreement, TXDOT is agreeing to pay for the costs incurred for the relocation of the utilities.

Staff requests that the City Council consider directing the City Manager to enter into the attached *Standard Utility Agreement* with TXDOT.

Action Needed

STANDARD UTILITY AGREEMENT

U Number: **N/A** Utility ID: **U00008450**

District: Dallas
 Federal Project No.: N/A
 ROW CSJ: 0009-12-223
 Highway Project Letting Date: 7/1/22 (RTL)

County: Rockwall
 Highway: IH 30
 From: Dalrock Road
 To: SH 205

This Agreement by and between the State of Texas, acting by and through the Texas Transportation Commission, (“**State**”), and City of Rockwall, (“**Utility**”), acting by and through its duly authorized representative, shall be effective on the date of approval and execution by and on behalf of the **State**.

WHEREAS, the **State** has deemed it necessary to make certain highway improvements as designated by the **State** and approved by the Federal Highway Administration within the limits of the highway as indicated above (the “**Highway Project**”);

WHEREAS, the proposed Highway Project will necessitate the adjustment, removal, and/or relocation of certain facilities of the **Utility** as indicated in the following statement of work: All stationing is IH 30 mainlane stationing; Relocation of 8” water line (WL #1) along WBFR from station 162+40.37 to 165+30.3; Relocation of 8” water line (WL #2) along WBFR from station ST 172+20.98 to 175+83.02; Relocation of 16” water line (WL #3) along WBFR from station 186+53.77 to 206+62.64; Relocation of 16” water line (WL #4) along EBFR from station 187+69.66 to 206+00.07; Removal of Fire Hydrant and Valve along EBFR at station 127+00 and relocation of a valve along EBFR at station 132+00 (WL #5); Relocation of 8” wastewater line (WW #1) along EBFR from station 172+13.75 to 182+76; and more specifically as shown in the **Utility’s** plans, specifications and estimated costs, which are attached hereto as Attachment “A”.

WHEREAS, the **State** will participate in the costs of the adjustment, removal, and relocation of certain facilities to the extent as may be eligible for State and/or Federal participation.

WHEREAS, the **State**, upon receipt of evidence it deems sufficient, acknowledges the **Utility’s** interest in certain lands and facilities that entitle it to reimbursement for the adjustment, removal, and relocation of certain of its facilities located upon the lands as indicated in the statement of work above.

NOW, THEREFORE, BE IT AGREED:

The **State** will pay to the **Utility** the costs incurred in adjustment, removal, and relocation of the **Utility’s** facilities up to the amount said costs may be eligible for **State** participation.

All conduct under this agreement, including but not limited to the adjustment, removal, and relocation of the facility, the development and reimbursement of costs, any environmental requirements, and retention of records will be in accordance with all applicable federal and state laws, rules and regulations, including, without limitation, the Federal Uniform Relocation Assistance and Real Property Acquisition Policies Act, 42 U.S.C. §§ 4601, et seq., the National Environmental Policy Act, 42 U.S.C. §§ 4321, et seq., the Buy America provisions of 23 U.S.C. § 313 and 23 CFR 635.410, as amended, Texas Transportation Code § 223.045, the Utility Relocations, Adjustments, and Reimbursements provisions of 23 CFR 645, Subpart A, and the Utility Accommodation provisions of 23 CFR 645, Subpart B.

The **Utility** shall supply, upon request by the **State**, proof of compliance with the aforementioned laws, rules, regulations, and guidelines prior to the commencement of the adjustment, removal, and relocation of the facility.

 Initial Date
 TxDOT

 Initial Date
 Utility

The Utility shall not commence any physical work, including without limitation site preparation, on the State's right of way or future right of way, until TxDOT provides the Utility with written authorization to proceed with the physical work upon TxDOT's completion and clearance of its environmental review of the Highway Project. Any such work by the Utility prior to TxDOT's written authorization to proceed will not be eligible for reimbursement and the Utility is responsible for entering any property within the proposed limits of the Highway Project that has not yet been acquired by TxDOT. This written authorization to proceed with the physical work is in addition to the authorization to commence work outlined below. Notwithstanding the foregoing, the provisions of this paragraph are required only when TxDOT has not obtained completion and clearance of its environmental review of the Highway Project prior to the execution of this Agreement by the State and the Utility.

The **Utility** shall comply with the Buy America provisions of 23 U.S.C. § 313, 23 CFR 635.410, as amended, and the Steel and Iron Preference provisions of Texas Transportation Code § 223.045 and, when products that are composed predominately of steel and/or iron are incorporated into the permanent installation of the utility facility, use domestically manufactured products. TxDOT Form 1818 (Material Statement), along with all required attachments, must be submitted, prior to the commencement of the adjustment, removal, and relocation of the facility, as evidence of compliance with the aforementioned provisions. Failure to submit the required documentation or to comply with the Buy America, and Steel and Iron Preference requirements shall result in: (1) the **Utility** becoming ineligible to receive any contract or subcontract made with funds authorized under the Intermodal Surface Transportation Efficiency Act of 1991; (2) the **State** withholding reimbursement for the costs incurred by the **Utility** in the adjustment, removal, and relocation of the **Utility's** facilities; and (3) removal and replacement of the non-compliant products.

The **Utility** agrees to develop relocation or adjustment costs by accumulating actual direct and related indirect costs in accordance with a work order accounting procedure prescribed by the **State**, or may, with the **State's** approval, accumulate actual direct and related indirect costs in accordance with an established accounting procedure developed by the **Utility**. Bills for work hereunder are to be submitted to the **State** not later than one (1) year after completion of the work. Failure to submit the request for final payment, in addition to all supporting documentation, within one (1) year after completion of the work may result in forfeiture of payment for said work.

When requested, the **State** will make intermediate payments at not less than monthly intervals to the **Utility** when properly billed. Such payments will not exceed 90 percent (90%) of the eligible cost as shown in each such billing. Intermediate payments shall not be construed as final payment for any items included in the intermediate payment.

The **State** will, upon satisfactory completion of the adjustment, removal, and/or relocation and upon receipt of final billing prepared in an approved form and manner and accounting for any intermediate payments, make payment in the amount of 90 percent (90%) of the eligible costs as shown in the final billing prior to audit and after such audit shall make an additional final payment totaling the reimbursement amount found eligible for **State** reimbursement.

Alternatively, the **State** agrees to pay the **Utility** an agreed lump sum of \$N/A as supported by the attached estimated costs. The **State** will, upon satisfactory completion of the adjustments, removals, and relocations and upon receipt of a final billing, make payment to the **Utility** in the agreed amount.

Upon execution of this agreement by both parties hereto, the **State** will, by written notice, authorize the **Utility** to perform such work diligently and to conclude said adjustment, removal, and relocation by the stated completion date which is attached hereto in Attachment "C". The completion date shall be extended for delays caused by events outside the **Utility's** control, including an event of Force Majeure, which shall include a strike, war or act of war (whether an actual declaration of war is made or not), insurrection, riot, act of public enemy, accident, fire, flood or other act of God, sabotage, or other events, interference by the **State** or any other party with the **Utility's** ability to proceed with the work, or any other event in which the **Utility** has exercised all due care in the prevention thereof so that the causes of other events are beyond the control and without the fault or negligence of the **Utility**.

This agreement in its entirety consists of the following elements:

Standard Utility Agreement – ROW-U-35;

- Plans, Specifications, and Estimated Costs (Attachment "A");
- Accounting Method (Attachment "B");

_____ Initial	_____ Date	_____ Initial	_____ Date
TxDOT		Utility	

- Schedule of Work (Attachment “C”);
- Statement Covering Contract Work – ROW-U-48 (Attachment “D”);
- Utility Joint Use Agreement – ROW-U-JUA and/or Utility Installation Request – Form 1082 (Attachment “E”);
- Eligibility Ratio (Attachment “F”);
- Betterment Calculation and Estimate (Attachment “G”); and
- Proof of Property Interest – ROW-U-Affidavit (Attachment “H”).

All attachments are included herein as if fully set forth. In the event it is determined that a substantial change from the statement of work contained in this agreement is required, reimbursement therefore shall be limited to costs covered by a modification or amendment of this agreement or a written change or extra work order approved by the **State** and the **Utility**.

This agreement is subject to cancellation by the **State** at any time up to the date that work under this agreement has been authorized, and such cancellation will not create any liability on the part of the **State**. However, the **State** will review and reimburse the **Utility** for eligible costs incurred by the **Utility** in preparation of this Agreement.

The State Auditor may conduct an audit or investigation of any entity receiving funds from the **State** directly under this contract or indirectly through a subcontract under this contract. Acceptance of funds directly under this contract or indirectly through a subcontract under this contract acts as acceptance of the authority of the State Auditor, under the direction of the Legislative Audit Committee, to conduct an audit or investigation in connection with those funds. An entity that is the subject of an audit or investigation must provide the state auditor with access to any information the state auditor considers relevant to the investigation or audit.

The **Utility** by execution of this agreement does not waive any of the rights that the **Utility** may have within the limits of the law.

It is expressly understood that the **Utility** conducts the adjustment, removal, and relocation at its own risk, and that the **State** makes no warranties or representations regarding the existence or location of utilities currently within its right of way.

Initial Date
TxDOT

Initial Date
Utility

The signatories to this agreement warrant that each has the authority to enter into this agreement on behalf of the party represented.

UTILITY

EXECUTION RECOMMENDED:

Utility: _____
Name of Utility

Director of TP&D (or designee), Dallas District

By: _____
Authorized Signature

Print or Type Name

Title: _____

Date: _____

THE STATE OF TEXAS

Executed and approved for the Texas Transportation Commission for the purpose and effect of activating and/or carrying out the orders, established policies or work programs heretofore approved and authorized by the Texas Transportation Commission.

By: _____
District Engineer (or designee)

Date: _____

Initial Date
TxDOT

Initial Date
Utility

Attachment “A”

Plans, Specifications, and Estimated Costs

All material items within cost estimate that must meet Buy America or Steel and Iron Preference Provision requirements must be indicated with an asterisk (*).

- Currently, **we do not have** Buy America required materials planned for this project. In the event that Buy America compliant materials are used during construction on this project, compliance documentation will be provided.

- There are non-domestic iron and steel materials in this project that fall under the De Minimus equation. Calculation showing the total cost does not exceed one-tenth of one percent (0.1 %) of the individual utility agreement amount or \$2,500.00, whichever is greater is required.

- We understand the Buy America Compliance Requirements and will supply the required documentation to TxDOT indicating compliance with this provision. The following documents will be supplied prior to installation of the materials:
 - 1) Form 1818 - Material Statement
 - 2) Material Test Reports or Certifications

Initial Date
TxDOT

Initial Date
Utility

ESTIMATE OF LABOR

FIRM: VOLKERT
 CLIENT: City of Rockwall
 PROJECT NAME: IH 30 - Water/Wastewater Relocations Dalrock to SH 205
 COUNTY: Rockwall

DATE: 10/27/21

TASK	Project Mgr	Dep. Proj. Mgr	Project Engineer	Design Engineer	Sr. Eng Tech	Eng Tech	Tech I	Admin Clerical					TOTAL
SUMMARY OF HOURS BILLING RATES													
	\$243.31	\$215.02	\$161.26	\$130.14	\$113.17	\$94.78	\$100.00	\$70.73					
1 Water / Wastewater Relocation - Dalrock to SH 205	60	158	216	248	252	182	0	20	0	0	0	0	1,136
2 Bidding Phase Services	4	12	12	8	0	0	0	0	0	0	0	0	36
3 Topographic Survey (By Others)				0					0	0	0	0	0
4 Quality Control/Quality Assurance	0	32	40	0	0	0	0	0	0	0	0	0	72
5 Special Services - Construction Phase Services	0	0	32	20	0	0	0	0	0	0	0	0	52
TOTAL HOURS	64	202	300	276	252	182	0	20	0	0	0	0	1,296
SUMMARY OF COSTS													
1 Water / Wastewater Relocation - Dalrock to SH 205	\$14,598.60	\$33,973.16	\$34,832.16	\$32,274.72	\$28,518.84	\$17,249.96	\$0.00	\$1,414.60	\$0.00	\$0.00	\$0.00	\$0.00	\$162,862.04
2 Bidding Phase Services	\$973.24	\$2,580.24	\$1,935.12	\$1,041.12	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$6,529.72
3 Topographic Survey (By Others)									\$0.00	\$0.00	\$0.00	\$0.00	
4 Quality Control/Quality Assurance	\$0.00	\$6,880.64	\$6,450.40	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$13,331.04
5 Special Services - Construction Phase Services	\$0.00	\$0.00	\$5,160.32	\$2,602.80	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$7,763.12
REIMBURSABLE COSTS													\$13,093.00
TOTAL COSTS	\$15,571.84	\$43,434.04	\$48,378.00	\$35,918.64	\$28,518.84	\$17,249.96	\$0.00	\$1,414.60	\$0.00	\$0.00	\$0.00	\$0.00	\$203,578.92
1 Water / Wastewater Relocation - Dalrock to SH 205	60	158	216	248	252	182	0	20	0	0	0	0	1136
1.1 Project Management	36	48						20					104
1.2 Construction Plans/Specifications, & Estimates													0
1.2.A Cover/Legend/General Notes			8		16	16							40
1.2.B Ex Conditions Plan/Demolition Plan		6	12	16	24	22							80
1.2.C Erosion Control Plan													0
1.2.D Water and Wastewater Plan/Profile		12	72	104	128	80							396
1.2.E Detour Plan (NOT INCLUDED)													0
1.2.F Traffic Control Plan		6	24	36	36	12							114
1.2.G Details		6	24	36	12	24							102
1.2.H Construction Sequencing Plan		6	24	24	12	4							70
1.2.I Misc Details		6	8	24	24	24							86
1.3 Specifications/Construction Contracts	12	12	12										36
1.4 Estimates	12	36	24										72
1.5 Agency Permitting/Coordination		20	8	8									36
2 Bidding Phase Services	4	12	12	8	0	0	0	0	0	0	0	0	36
2.1 Project Management	4	6	6										16
2.2 Document Preparation		6	6	8									20
3 Topographic Survey (By Others)													0
4 Quality Control/Quality Assurance		32	40										72
4.1 60% QA/QC		16	16										32
4.2 90% QA/QC		8	16										24
4.3 100% QA/QC		8	8										16
5 Special Services - Construction Phase Services			32	20									52
5.1 Responding to RFIs			20										20
5.2 Field Design Changes			12	20									32

Total Costs \$203,578.92
 Max Not to Exceed \$223,936.81

Proposed Fee Summary

Alliance Geotechnical Group - Construction Materials Testing Services

IH-30 Utility Relocation Project (Lake Hubbard to SH 205), Rockwall, Texas AGG Prop. No. P21-1107C

Item No.	Laboratory Test Description	ASTM/TXDOT Procedures	Units	Quantity	Unit Price	Total
Soil and Base Material						
	Atterberg Limits - (Liquid and Plastic Limits and Plasticity Index (PI))	D-4318	EA	10	55.00	550.00
	Material finer than #200 Sieve	D-1140	EA	10	45.00	450.00
	Atterberg Limits (Lime) Series Test		EA		275.00	0.00
	Moisture-Density Relationship of Soil (Proctor Compaction Curve)	D-698	EA	10	160.00	1600.00
	Moisture-Density Relationship of Base (Proctor Compaction Curve)	TX 113E	EA		175.00	0.00
	Proctor Pickup (Includes Trip Charge)		EA	8	175.00	1400.00
	Nuclear Field Density Test @ Utilities <i>(Est. 34 Trips)</i>	D-6938	EA	125	20.00	2500.00
	Senior Engineer Technician to Perform Densities	D-6938	HR	204	42.50	8670.00
	Project Manager		HR	16	85.00	1360.00
Concrete @ Manholes and Driveways						
	Concrete Compression Test (Concrete Cylinders - Test and Hold) (5 cyl. per set) <i>(Est. 14 Trips)</i>	C-39	EA	70	20.00	1400.00
	Cylinder Pickup (Includes Trip Charge)		EA	7	175.00	1225.00
	Senior Engineering Technician to Perform Concrete Inspection		HR	70	42.50	2975.00
	Project Manager		HR	6	85.00	510.00
Reinforcing Steel Inspection						
	Senior Engineering Technician to Perform Steel Inspection	C-39	HR		42.50	0.00
	Project Manager		HR		85.00	0.00
Travel Item Number						
	Trip Charge		EA	48	45.00	2160.00
Contingency Fee						
	25% Contingency Fee		LS	1	6200.00	6200.00
TOTAL						\$31,000.00

****Overtime rates of 1.5 times the regular hourly rate will be charged for work over 8 hours or any time before 7am or after 5pm. Services performed on recognized holidays will be charged at 2.0 times the the regular hourly rate.**

****25% contingency fee added to account for testing quantities not anticipated in estimate.**

FHWA TEXAS DIVISION	FEDERAL AID PROJECT NO.	SHEET NO.	
		1	
STATE	DISTRICT	COUNTY	
TEXAS	DAL	ROCKWALL	
CONTROL	SECTION	JOB	HIGHWAY NO.
0009	12	220	IH 30

INDEX OF SHEETS

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**PLANS FOR CITY OF ROCWALL
IH 30 UTILITY RELOCATIONS**

UTILITY ID: U00008450
ROW CSJ 0009-12-223
CONSTRUCTION CSJ: 0009-12-215 & 220

**IH 30
ROCKWALL COUNTY**

LIMITS: FROM DALROCK ROAD TO SH 205

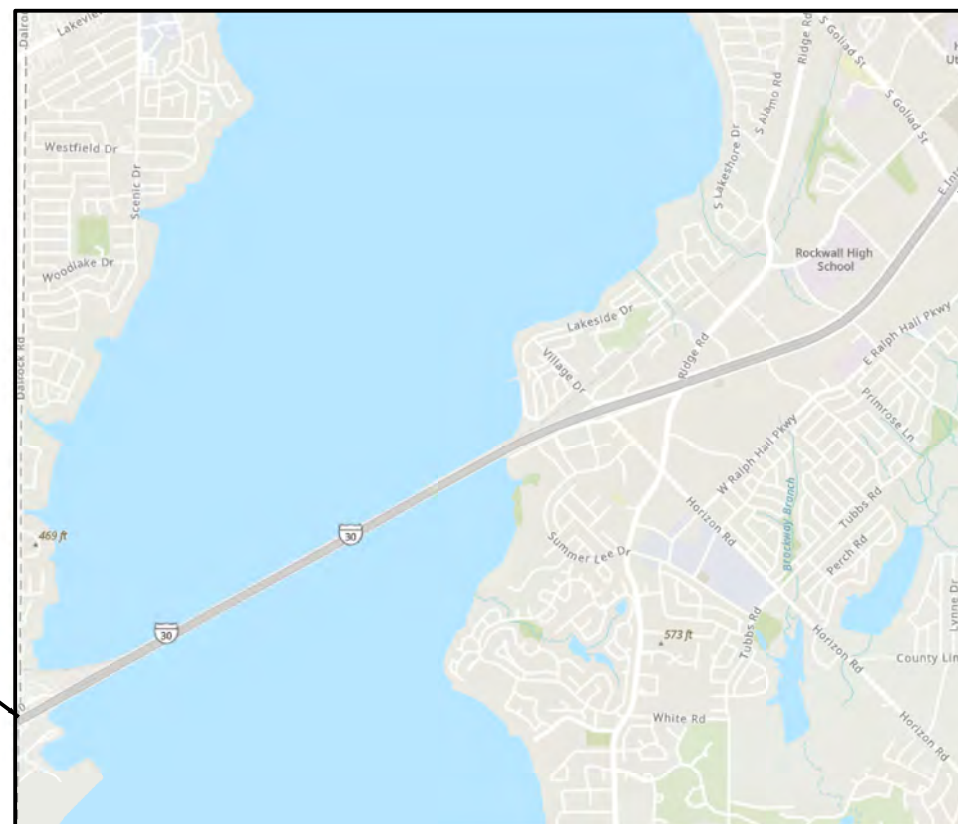
MAYOR: KEVIN FOWLER

CITY COUNCIL: BENNIE DANIELS, JOHN HOHENSHELT, CLARENCE JORIF, TRACE JOHANNESEN, DANA MACALIK, ANNA CAMPBELL

CITY MANAGER: MARY SMITH

CITY ENGINEER: AMY WILLIAMS P.E.

BEGIN PROJECT:
DALROCK ROAD



LOCATION MAP
NOT TO SCALE



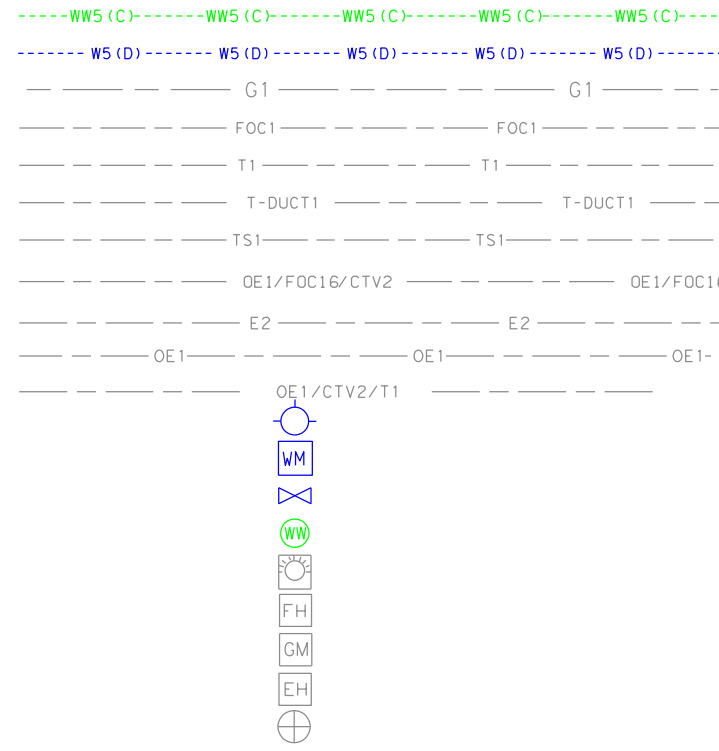
END PROJECT:
SH 205

Sara Hutson
11-5-2021
STATE OF TEXAS
SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER

VOLKERT
F - 12679
2850 SHORELINE TRL SUITE 201
ROCKWALL, TX 75032
972-961-4427

The Standard Specifications for Public Works Construction, North Central Texas, November 2017, Fifth Edition, except where noted otherwise in the City of Rockwall's Supplemental Special Provisions, the Special Conditions included in the Specifications and Contract Documents shall govern on this project.

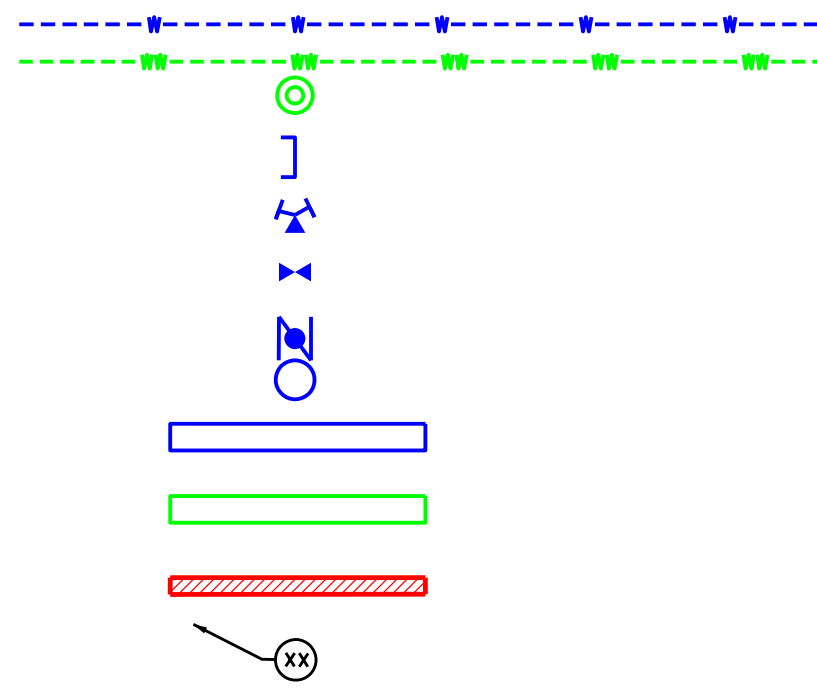
EXISTING WASTEWATER
 EXISTING WATER
 EXISTING GAS
 EXISTING FOC
 EXISTING TELCO
 EXISTING TELCO (DUCTILE)
 EXISTING TRAFFIC SIGNAL
 EXISTING ELECTRIC
 EXISTING ELECTRIC
 EXISTING ELECTRIC
 EXISTING ELECTRIC
 EXISTING FIRE HYDRANT
 EXISTING WATER METER
 EXISTING WATER VALVE
 EXISTING WASTEWATER MANHOLE
 EXISTING ELECTRIC LIGHT POLE
 EXISTING FOC HANDHOLE
 EXISTING GAS METER
 EXISTING ELECTRIC HANDHOLE
 EXISTING GAS VALVE



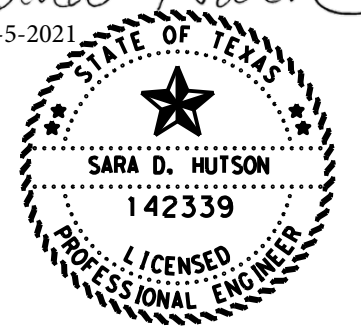
EXISTING ROW
 PROPOSED ROW



PROPOSED WATER
 PROPOSED WASTEWATER
 PROPOSED WASTEWATER MANHOLE
 PROPOSED CAP
 PROPOSED TEE/BEND
 PROPOSED VALVE
 PROPOSED BUTTERFLY VALVE
 PROPOSED WATERLINE BORE
 PROPOSED WASTEWATER BORE
 UTILITY ABANDONMENT
 CONFLICT CALL OUT



Sara Hutson
 11-5-2021



ROCKWALL IH 30
 LEGEND

SHEET 2 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	2	

DATE: 5/11/21
 FILE: 11-5-2021

GENERAL ITEMS

1. All construction shall conform to the requirements of the "Standard Specifications for Public Works Construction" by the North Texas Central Council of Governments, 5th edition amended by the City of Rockwall. The CONTRACTOR shall reference the latest City of Rockwall standard details provided in the Rockwall Engineering Departments "Standards of Design and Construction" manual for details not provided in these plans. The CONTRACTOR shall possess one set of the NCTCOG Standard Specifications and Details and the City of Rockwall's "Standards of Design and Construction" manual on the project site at all times
2. The CONTRACTOR shall protect existing property monumentation and primary control. Any such points which the CONTRACTOR believes will be destroyed shall have offset points established by the CONTRACTOR prior to construction. Any monumentation destroyed by the CONTRACTOR shall be re-established at CONTRACTOR's expense by a registered professional land surveyor.
3. CONTRACTOR shall stake and clearly label the existing and/or proposed right-of-way and easements for the project. These shall be maintained and or re-established if damaged during the duration of the project. At a minimum stakes shall be placed at a spacing of 100-ft, lot line, PC, PT and PI. (no separate pay)
4. Upon the CITIES request the CONTRACTOR shall provide survey Northings, Eastings and Elevations by registered professional land surveyor for: any existing utilities that may be in conflict with the proposed improvements of the construction plans, and any proposed installation to verify it has been installed per plan. (no separate pay)
5. Any item called out for on the plans that does not have a specific bid item shall be subsidiary to the project and no separate pay shall be given.
6. The CONTRACTOR is solely responsible for performing all construction layouts from the site layout control points, and from the dimensions and centerlines shown. The CONTRACTOR must notify the engineer of any discrepancies before proceeding with the work.
7. CONTRACTOR shall take all available precautions to control dust. CONTRACTOR shall control dust by sprinkling water (no separate pay), or as approved by the City and engineer.
8. CONTRACTOR shall video record and provide a copy to the construction inspector of the entire job site before construction starts. Video record of the site will be used to dispute discrepancies of any preexisting conditions of the project site before construction begins.
9. It is the CONTRACTOR's responsibility to maintain a neat and accurate redline record of construction for the City's records. The CONTRACTOR shall provide the City full size reproducible markups that record all construction deviating from the plans. These redline construction plan records shall be submitted to the City at the end of the job and sign by the CONTRACTOR. These records must be received or the City will not release final retainage or acceptance on the job.

TRAFFIC CONTROL

1. A suggested traffic control sequence plan is provided in the plan set. At a minimum the CONTRACTOR will be required to use the suggested sequence plan. If the CONTRACTOR chooses to change the traffic control sequencing, a traffic control sequencing plan and traffic control sheets of each phase will have to be provided for review and approval by the City. All shall be signed and sealed by a Registered Professional Engineer with the State of Texas.
2. All new Detouring or Traffic Control Plans submitted by the City for review and approval a minimum of 21 calendar days prior to planned day of implementation.
3. CONTRACTOR shall notify the City 14 Calendar days prior to changing Detouring and Traffic Control for each Phase and Segment. This is to give time for Contractor to place Message Boards for warning of Detour Change and for City Notification to other departments, emergency services, mail delivery, school district, and trash services.
4. Pedestrian and vehicular traffic flow, safety and access shall be maintained during all phases of construction. Barricading and traffic control during construction shall be the responsibility of the CONTRACTOR and shall conform to the "Texas Manual on Uniform Traffic Control Devices ", latest edition, Part IV in particular. Traffic flow and access shall be maintained during all phases of construction unless otherwise noted on the traffic control plan. The CONTRACTOR is responsible for providing traffic safety measures for work on the project. The CONTRACTOR shall assume full responsibility for public safety in the construction area during the duration of construction activities.
5. The CONTRACTOR shall furnish, install, maintain and remove all necessary traffic control devices in conformance with the Texas Manual on Uniform Traffic Control Devices (Part 6). The CONTRACTOR shall provide access to properties at all times during each phase of construction to all local residents, businesses, mail service, trash pick-up and emergency services.
6. No traffic signs shall be taken down without permission from the City. CONTRACTOR needing to move and replace traffic sign for construction purposes should be paid for under traffic control bid item.
7. CONTRACTOR will furnish and install all signage in accordance with TMUTCD guidelines. Prior to installation of signage, CONTRACTOR shall stake locations and receive approval from City on locations. All signage that is removed by the CONTRACTOR shall be saved and delivered to municipal service center, streets division. All replaced signs shall be new. See City requirements for sign materials.
8. The CONTRACTOR shall be responsible for coordination, scheduling and temporary equipment that is needed for all temporary traffic signal modifications during construction traffic control phasing. (Subsidiary to all traffic control pay items)
9. The CONTRACTOR shall have a minimum of two (2) Portable Message Boards available for the duration of the project for notification of changes to the project. (Subsidiary to traffic control pay items)

DEMOLITION, REMOVAL, DISPOSAL AND EXCAVATION NOTES

1. CONTRACTOR shall remove and properly dispose of all existing concrete and HMAC pavement outside of the City limits as required for construction of the project. All cost shall be included in the appropriate item in the bid schedule.
2. Payments for removal and replacement of street, driveway and sidewalk pavement shall be based on plan quantity and no adjustments will be made unless approved in writing by the City engineer.
3. All pavements to be removed and replaced shall be saw cut to full depth along neat lines shown in the plans. Proposed concrete pavement shall be constructed with longitudinal butt construction joints at all connections to existing concrete pavement. Concrete Pavement to be removed and replaced shall be full panel replacement.
4. The CONTRACTOR shall remove from the project area all surplus material. This work shall be incidental and not a separate pay item. Surplus materials from excavation include dirt, trash, rock measuring greater than 6" in the largest dimension, etc. Shall be properly disposed of at a site acceptable to the City of Rockwall if within the City limits. No excess excavated material shall be deposited in low areas or along natural drainage ways without written permission from the affected property owner and the City of Rockwall. If the CONTRACTOR places excess materials in these areas without written permission, he will be responsible for all damages resulting from such fill and he shall remove the material at his own cost.
5. All excavation on the project is unclassified. If soil borings were conducted they are provided in the bid/contract documents.

FRANCHISE UTILITY NOTES

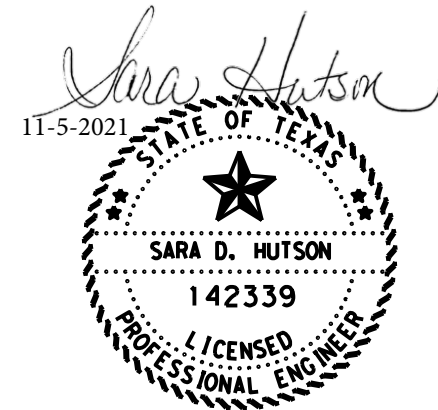
1. Reasonable effort has been made to show the location of all known underground franchise utilities and service lines. However, the owner assumes no responsibility for failure to show any or all existing subsurface franchise utilities or utility line, or to show them in their exact location. The CONTRACTOR shall be responsible for the protection of all existing utilities, service lines or the like, which are exposed by the construction operation.
2. Existing franchise utilities shown in these plans reflect approximate locations prior to relocations. Some relocations have occurred with utility pole, gas, phone and cable utilities. The CONTRACTOR shall contact 811/Dig-Tess to locate existing and new utilities not shown in these plans.
3. CONTRACTOR shall support utilities where crossing with proposed storm sewer, water lines and sanitary sewers. Method of support shall be provided to the owner 24 hours prior to crossing.
4. The location off all Atmos gas lines, AT&T, Charter/Spectrum and TXU/Oncor electric underground phone lines in these plans are approximate. The CONTRACTOR shall contact Atmos, TXU/Oncor, AT&T and Charter/Spectrum to verify location and depth of all existing gas, electric and phone lines prior to construction.
5. CONTRACTOR shall have and pay for TXU/Oncor, AT&T and/or Charter/Spectrum support and protect all power, guy wires or cable and/or light poles in the work area.
6. Any damage incurred to existing franchise utilities, appurtenances, utility poles, light standards, etc. By construction related activities shall be the sole responsibility of the CONTRACTOR

UTILITY NOTES

1. Reasonable effort has been made to show the location and type of all known City of Rockwall underground wet utilities and service lines. However, the City of Rockwall assumes no responsibility for failure to show any or all existing City of Rockwall underground wet utilities and service lines, or to show them in their exact location. The CONTRACTOR shall be responsible for the protection of all existing utilities, service lines or the like, which are exposed by the construction operation.
2. Bidders shall make any investigation of existing subsurface conditions as deemed necessary at no expense to the City of Rockwall. Neither the City of Rockwall nor the engineer will be responsible in any way for additional compensation for excavation work performed under this contract due to the CONTRACTOR's assumptions.
3. CONTRACTOR shall adjust all City of Rockwall utilities to the final grades.
4. CONTRACTOR shall be responsible for the protection of all existing service lines crossed or exposed by construction operations. Where existing service lines are cut, broken or damaged, the CONTRACTOR shall immediately replace the service line with same type of original construction or better.
5. The CONTRACTOR shall excavate and field locate the horizontal and vertical location of existing utility crossing locations utilizing provided project control. The CONTRACTOR shall immediately notify the engineer of any discrepancies identified between the CONTRACTORs field verified existing utility location and proposed location of utilities for the project.
6. The CONTRACTOR shall abide by all applicable federal, state, and local laws governing excavation. The CONTRACTOR shall provide detailed plans and specifications for trench safety systems that comply with applicable laws governing excavation. These plans shall be sealed by an engineer experienced in the design of trench safety systems, registered in the state of Texas. The CONTRACTOR shall submit completed trench safety plan to the engineer and City prior to commencing work. The CONTRACTOR shall be solely responsible for all aspects of work related to excavations.
7. Dewatering of utility trenches, bores pits, and any other excavations shall be no separate pay and shall be subsidiary to the other pay items on the project.

HEALTH AND SAFETY

1. CONTRACTOR shall provide for the safety and health of employees and abide by all OSHA Standards and Regulations.



**ROCKWALL IH 30
GENERAL NOTES**

SHEET 1 OF 2

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNTY	SHEET NO.
DALLAS		73	3
		ROCKWALL	

DATE: SDATES
FILE: SFILES

EROSION CONTROL, VEGETATION & SODDING

- The CONTRACTOR or developer shall be responsible, as the entity exercising operational control, for all permitting as required by the Environmental Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ). This includes, but is not limited to, preparation of the Storm Water Pollution Prevention Plan (SWPPP), the Construction Site Notice (CSN), the Notice of Intent (NOI), the Notice of Termination (NOT) and any Notice of Change (NOC) and is required to pay all associated fees
- Erosion control devices as shown on the erosion control plan for the project shall be installed prior to the start of land disturbing activities.
- All erosion control devices are to be installed in accordance with the approved plans, specifications and Storm Water Pollution Prevention Plan (SWPPP) for the project. Erosion control devices shall be placed and in working order prior to start of construction. Changes are to be reviewed by the design engineer and the City of Rockwall prior to implementation.
- If the Erosion Control Plans and Storm Water Pollution Prevention Plan (SWPPP) as approved cannot appropriately control erosion and off-site sedimentation from the project, the erosion control plan and/or the SWPPP is required to be revised and any changes reported to the Texas Commission on Environmental Quality (TCEQ), when applicable.
- All erosion control devices shall be inspected weekly by the CONTRACTOR and after all major rain events, or more frequently as dictated in the project Storm Water Pollution Prevention Plan (SWPPP). CONTRACTOR shall provide copies of inspection's reports to the engineering inspection after each inspection.
- The CONTRACTOR shall not dispose of waste and any materials into streams, waterways or floodplains. The CONTRACTOR shall secure all excavation at the end of each day and dispose of all excess materials. Disposal site shall be documented and provided to the City.
- CONTRACTOR shall grade ground and ditches disturbed by construction to prevent ponding of storm water runoff. Grading shall be subsidiary to the appropriate bid item for unclassified street and unclassified channel excavation. Topsoil shall be stockpiled and replaced to a minimum depth of 6-inches and disc harrowed to a minimum depth of 4-inches (no pay item).
- All parkways, medians, R.O.W. and other areas disturbed by construction activities shall be restored to existing ground cover type and to the City and/or property owners liking. CONTRACTOR shall replace grass areas disturbed by construction activities with solid sod and shall match existing type. These areas shall be tilled 6-inches and topped with 4-inch of clean top soil to final grade and have grass sod established immediately. Areas disturbed outside the R.O.W. or limits of construction shall have grass sod established immediately at the CONTRACTOR's expense. Sodded areas shall be watered and maintained until established. Payment shall be made under the appropriate sodding or bid schedule item.

WATER LINE NOTES

- The CONTRACTOR shall maintain existing water service at all times during construction.
- Proposed water lines shall be AWWA C900-16 PVC Pipe (blue in color) for all sizes, DR 14 (PC 305) for pipeline sizes 12-inch and smaller, and DR 18 (PC 235) for 14-inch and larger water pipelines unless otherwise shown on water plan and profiles sheets. Proposed water lines shall be constructed with minimum cover of 4 feet for 6-inch through 8-inch, 5 feet for 12-inch through 18-inch and 6 feet for 20-inch and larger.
- Proposed water line embedment shall be NCTCOG Class 'B-3' as amended by the City of Rockwall's public works standards of design and construction manual.
- CONTRACTOR shall coordinate the shutting down of all water lines with the City of Rockwall, Public Works, and Water Division. The City shall operate all water valves.
- CONTRACTOR shall furnish and install gasket on water lines between all dissimilar metals and at valves (both existing and proposed).
- All fire hydrants and valves removed and salvaged shall be returned to the City of Rockwall municipal service center.
- Blue EMS pads shall be installed at every change in direction, valve, curb stop and service tap on the proposed water line and every 250'.
- CONTRACTOR to install new meter boxes, all fittings and new meters per each service complete including connection to the main line. CONTRACTOR shall be responsible to coordinate with Utility Billing 972-771-7736 on which meters need to be replaced and which meters are to remain for the project. New meters will be supplied by the Utility Billing Department. CONTRACTOR shall give the Utility Billing Department ample Notice to make sure meters are on hand to be installed for the project.
- Existing meter and meter boxes, and valve stem and covers not specifically called to be relocated shall be adjusted to match final grades (no pay item). Any meter in pavement shall have a traffic rated lid.
- All water valve extensions, bolts, nuts and washers shall be 316 Stainless Steel.
- All fire hydrants bolts, nuts and washers that are buried shall be 316 Stainless Steel.
- Abandoned water lines to remain in place shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product. Valves to be abandoned in place shall have any extensions and the valve box removed and shall be capped in concrete

WASTEWATER LINE NOTES

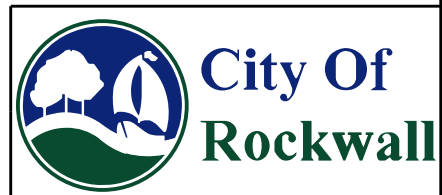
- The CONTRACTOR shall maintain existing wastewater service at all times during construction.
- Wastewater line for 4-inch through 15-inch shall be Green PVC – SDR 35 (ASTM D3034) [less 10 ft cover] and SDR 26 (ASTM D3034) [10 ft or more cover]. For 18-inch and larger wastewater line shall be Green PVC – PS 46 (ASTM F679) [less 10 ft cover] and PS 115 (ASTM F679) [10 ft or more cover].
- Proposed wastewater line embedment shall be NCTCOG Class 'H' as amended by the City of Rockwall's standard design and construction manual.
- Green EMS pads shall be installed at every 250', manhole, clean out and service lateral on proposed wastewater lines.
- All existing wastewater services shall be transferred from wastewater lines being abandoned to proposed wastewater lines. Transferring wastewater services shall include double clean outs at the property lines, caps, tees, wyes, plugs and connection. Payment for transferring wastewater services shall be paid per each, under the appropriate bid schedule item.
- CONTRACTOR shall CCTV all existing wastewater lines that are to be abandoned to ensure that all laterals are accounted for and transferred to proposed wastewater lines. (no separate pay)
- All abandoned wastewater and force main lines shall be cut and plugged and all void spaces within the abandoned line shall be filled with grout, flowable fill or an expandable permanent foam product.
- Existing manholes and cleanouts not specifically called to be relocated shall be adjusted to match final grades (no pay item).
- All wastewater pipes and public services shall be inspected by photographic means (television and DVD) prior to final acceptance. The contractor shall furnish a DVD to the Engineering Division Construction Inspector for review. Any sags, open joints, cracked pipes, etc. shall be repaired or removed by the contractor at the contractor's expense. An additional television survey will be performed as part of the final testing in the twentieth (20th) month of the maintenance period.
- All manholes (public or private) shall be fitted with inflow prevention. The inflow prevention shall conform to the measures called out in standard detail R-5031.
- All new or existing manholes that are to be placed in pavement shall be fitted with a sealed (gasketed) rim and cover to prevent inflow.
- All new or existing manholes being modified shall have corrosion protection being Raven Liner 405 epoxy coating, ConShield, or approved equal. Consheild must have terracotta color dye mixed in the precast and cast-in-place concrete. Where connections to existing manholes are made the contractor shall rehab manhole as necessary and install a 125 mil thick coating of Raven Liner 405 or approved equal.

DRAINAGE / STORM SEWER NOTES

- The CONTRACTOR shall maintain drainage at all times during construction. Ponding of water in streets, drives, trenches, etc. will not be allowed. Existing drainage ways shall not be blocked or removed unless explicitly stated in the plans or written approval is given by the City.

FENCES, TREES, LANDSCAPING, AND IRRIGATION NOTES

- The removal, replacement or reconstruction of any fence for the convenience of construction shall be at the CONTRACTOR's expense (no separate pay). New materials shall match existing fences. All wood fences shall be replaced with new cedar with the post matching City requirements.
- Temporary fencing shall be required where there is evidence of livestock and where damaged or removed fences are not to be replaced by the end of the same work day. Unless there is a specific pay item then temporary fencing shall be considered subsidiary to the main remove and replacement fence pay item.
- All shrubs, plants, trees, etc. must be approved by the City before removal.
- The removal and replacement of all shrubs, plants, trees, etc. for the convenience of construction shall be at the CONTRACTOR's expense (no separate pay). New shrubs, tree, etc. shall be equal to or better than existing ones.
- CONTRACTOR shall replace any trees removed or destroyed that are not shown in these plans to be removed or shall pay fair market value to the owner as determined by the owner. (No Separate Pay).
- The CONTRACTOR shall locate and record existing irrigation systems prior to construction. If irrigations systems are damaged during construction the CONTRACTOR shall repair to same or better condition. An irrigator licensed in the state of Texas shall repair all damaged caused by construction. CONTRACTOR shall coordinate any irrigation work with the City of Rockwall and property owner's representatives. (No Separate Pay).
- If an irrigation system is damaged between the months of March and October the Contractor shall repair the system back in working order within one week. The contractor shall be responsible for any damage to landscaping, trees, shrubs, foundations, etc. due to the lack of non-working irrigation systems. (No Separate Pay)

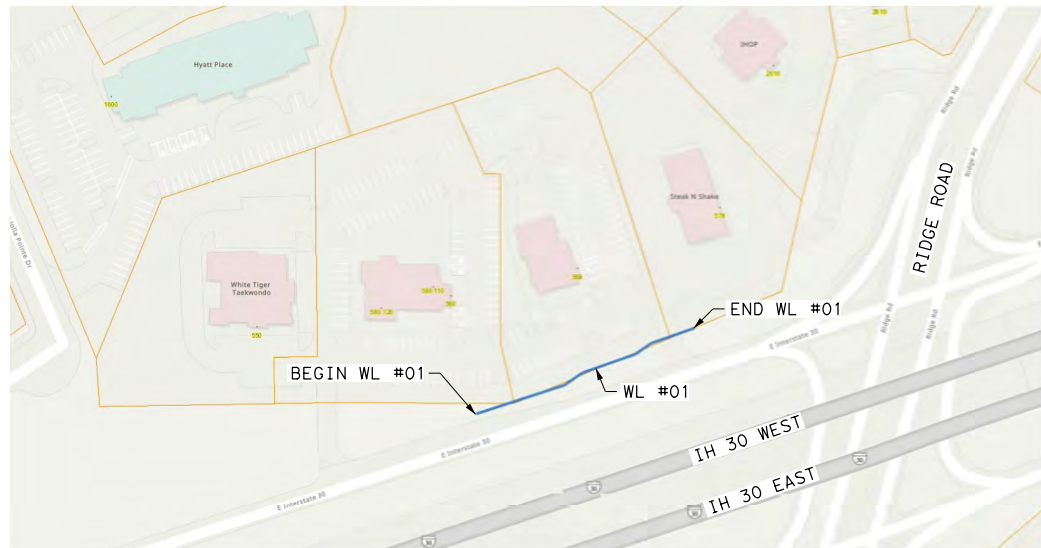


ROCKWALL IH 30 GENERAL NOTES			
SHEET 2 OF 2			
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNTY	SHEET NO.
DALLAS		74	4
		CITY	
		ROCKWALL	

DATE: SDATES
FILE: SFILES

DATE: 05-NOV-2021 18:40
 FILE: Projects\1066800 - Rockwall IH 30 Widening - Utility Conflict Analysis\4 - Design\Plan Set_SEC 1\1. General\05_Rockwall_IH30_Project_Layout.dgn

WATER LINE #01



WATER LINE #02



WATER LINE #03



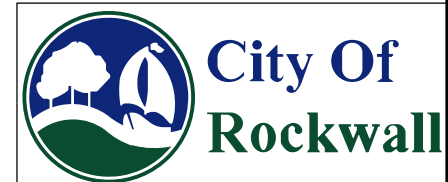
WATER LINE #04



WASTEWATER LINE #01



WATER LINE #05



VOLKERT 2021

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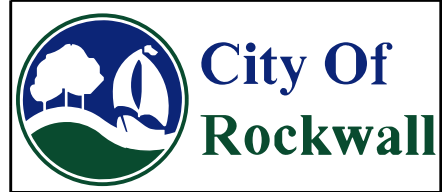
**ROCKWALL IH 30
 PROJECT LAYOUT**

SHEET 1 OF 1			
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	5	

BID ITEM	UNIT	QTY
MOBILIZATION	PM**	7
TRAFFIC CONTROL	PM**	7
DUCTILE IRON FITTINGS*	TON	3.18
PREPARING ROW	AC	4.13
EROSION AND SEDIMENT CONTROL	EA	18214
TRENCH EXCAVATION SAFETY	LF	4795
ROLL SODDING	SY	4305
16" STEEL CASING* (BORED)	LF	257
18" STEEL CASING* (BORE)	LF	55
24" STEEL CASING* (BORE)	LF	577
BUTTERFLY VALVE & BOX* (COMPL)	EA	15
CUT AND PLUG (10")	EA	2
CUT AND PLUG (16")	EA	28
CUT AND PLUG (8")	EA	19
CUT AND PLUG (6")	EA	1
FIRE HYDRANT ASSEMBLY*	EA	6
GROUT AND ABANDONMENT	LF	1690
GROUT AND ABANDONMENT (8")	LF	445
RECONNECT EXISTING FIRE	EA	1
RECONNECT EXISTING WATER METER	EA	5
RECONNECT EXISTING WATER	EA	4
RELOCATE EXISTING 6" VALVE	EA	1
REM & DISPOSE OF 10" DIA SAN	LF	249
REM & DISPOSE OF 16" DIA WTR	LF	2728
REM & DISPOSE OF 8" DIA SAN	LF	519
REM & DISPOSE OF 8" DIA WTR	LF	486
REMOVE EXISTING WASTEWATER	EA	2
REMOVE FIRE HYDRANT ASSEMBLY	EA	6
REMOVE WATER VALVE AND BOX	EA	12
SAWCUT, REMOVE AND REPLACE	SY	315
RECONNECT WASTEWATER SERVICE	EA	3
SWR (PVC) (DR 26) (C900) (10")	LF	234
SWR (PVC) (DR 26) (C900) (8")	LF	829
TAPPING SLEEVE AND VALVE* (8IN	EA	1
TIE EXIST SANITARY SEWER TO	EA	2
TIE-IN (16" PVC TO 16" PVC)	EA	8
TIE-IN (8" PVC TO 8" PVC)	EA	7
VALVE* (GATE) (8")	EA	10
VALVE* (GATE) (12")	EA	1
WASTEWATER MANHOLE* (60")	EA	6
WASTEWATER MANHOLE* (48")	EA	2
WATER MAIN PIPE (PVC) (16IN)	LF	4025
WTR (PVC) (DR 14) (C900) (8")	LF	664

* BUY AMERICA
** PM - PER MONTH

Sara Hutson
11-5-2021
STATE OF TEXAS
SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER



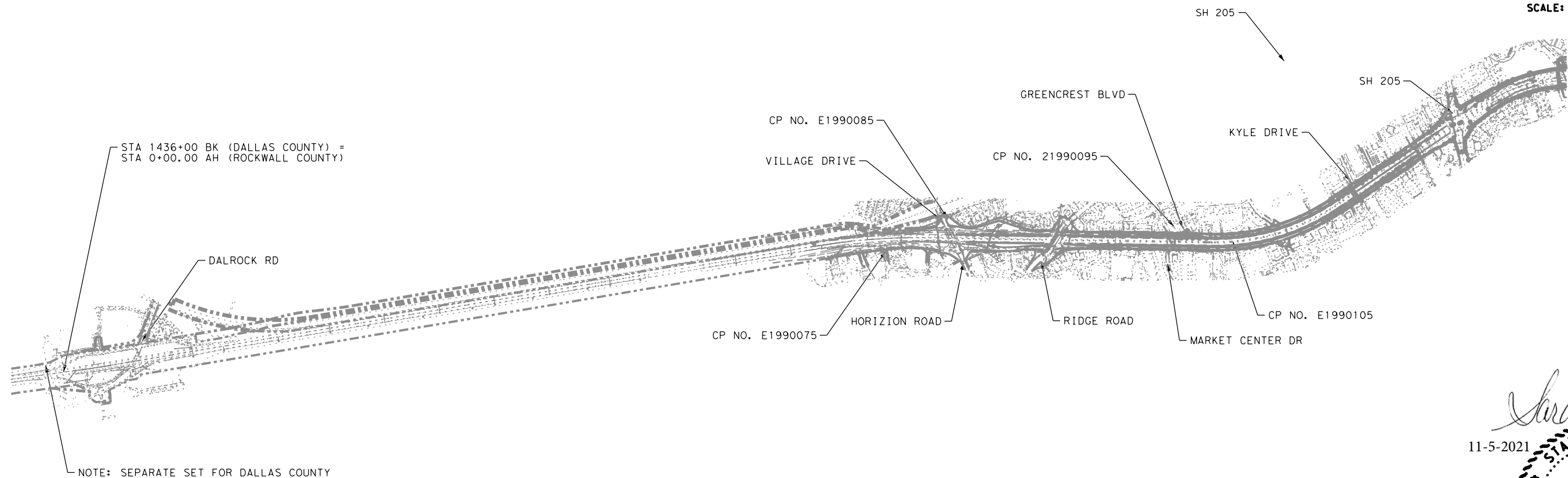
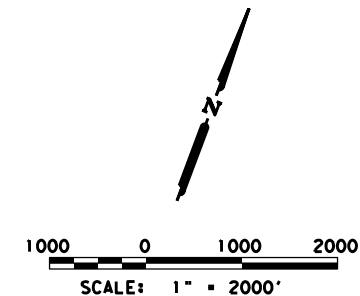
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**ROCKWALL IH 30
SUMMARY OF UTILITY
QUANTITIES**

SHEET 1 OF 1

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	6	

DATE: 8/24/2021
FILE: 8/24/2021



Sara Hutson
 11-5-2021
 STATE OF TEXAS
 SARA D. HUTSON
 142339
 LICENSED PROFESSIONAL ENGINEER

NOTES:

1. SURVEY WAS NOT PERFORMED BY VOLKERT, INC.
2. HORIZONTAL AND VERTICAL CONTROL WAS PROVIDED BY TXDOT IN PLAN SET: PLANS OF EXISTING SUBSURFACE UTILITIES, DALLAS/ROCKWALL COUNTY, HIGHWAY: IH30 PREPARED BY LINA T. RAMSEY & ASSOCIATES, INC. DATED 8/4/2016.

ALL COORDINATES SHOWN HEREON ARE BASED ON RTK OBSERVATIONS UTILIZING THE TXDOT VRS NETWORK, AND REFERENCED TO THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM 1983 (NAD83) 2011 ADJUSTMENT, EPOCH 2010.00 ALL COORDINATES ARE US SURVEY FEET, DISPLAYED IN SURFACE VALUES AND MAY BE CONVERTED TO GRID BY DIVIDING BY THE COMBINED ADJUSTMENT FACTOR OF 1.000146135 (ROCKWALL COUNTY)

ELEVATIONS ARE BASED ON NAVD 1988.

CONTROL POINT NO. E1990075
 NORTHING: 7014859.095
 EASTING: 2589452.905
 ELEVATION= 484.81'

CONTROL POINT NO. E1990085
 NORTHING: 7016158.632
 EASTING: 2590036.207
 ELEVATION: 528.48'

CONTROL POINT NO. E1990095
 NORTHING: 7017851.299
 EASTING: 2595327.345
 ELEVATION: 565.83'

CONTROL POINT NO. E1990105
 NORTHING: 7018729.879
 EASTING: 1596517.614
 ELEVATION= 563.69'



VOLKERT²⁰²¹

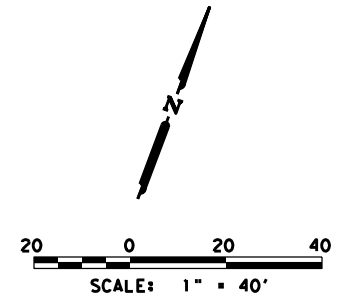
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**ROCKWALL IH 30
 HORIZONTAL AND
 VERTICAL CONTROL**

SHEET 1 OF 1

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	7	

DATE: 8/4/2016
 FILE: 8/4/2016



NOTES:

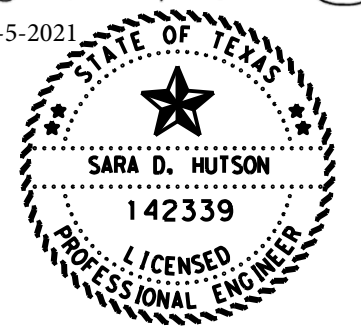
1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

LEGEND:

- REMOVAL
- ABANDONMENT
- CUT/CAP

Sara Hutson

11-5-2021



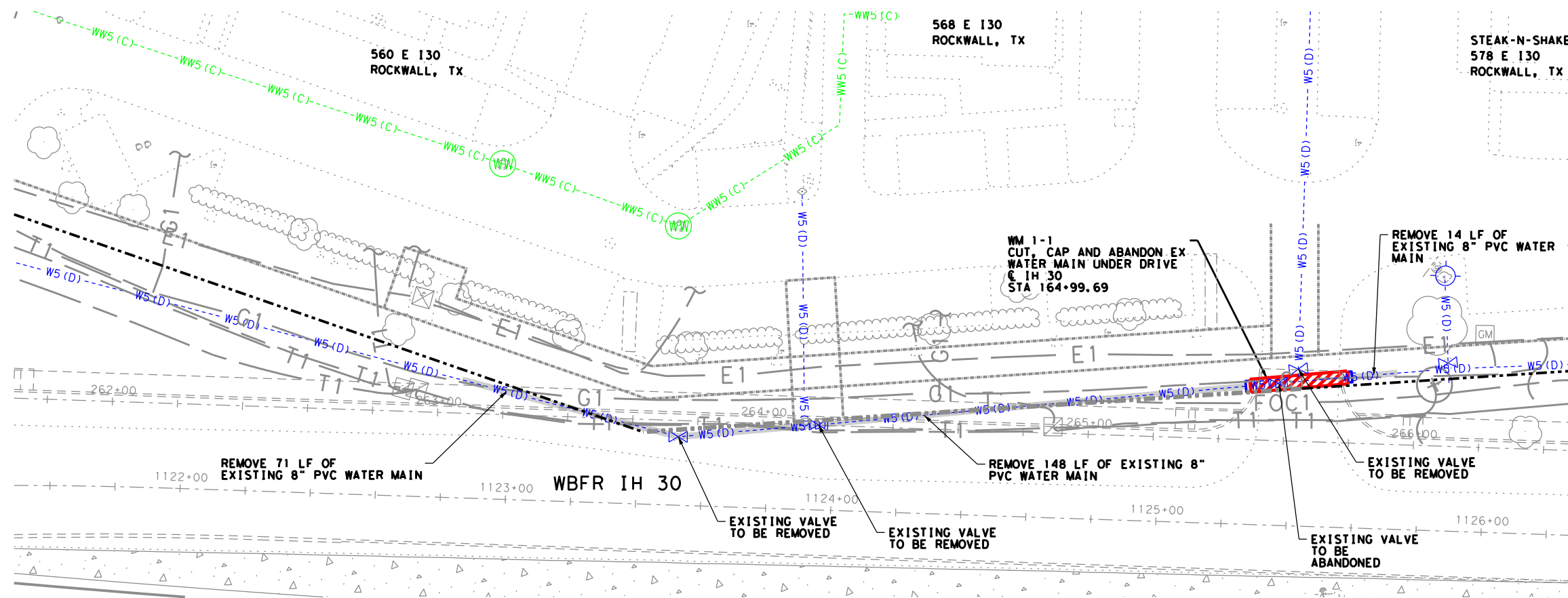
VOLKERT

F-12679

**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #01**

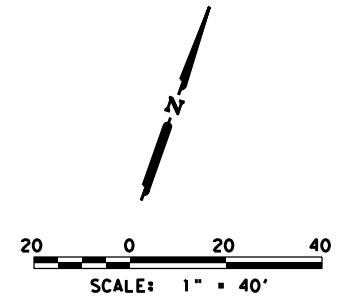
SHEET 1 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	8	



LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #01 - 1	WATER	1977	UNKNOWN	IN USE	8	PVC	30	4

DATE: **SDATES** STIMES
FILE: **SFILES**



NOTES:

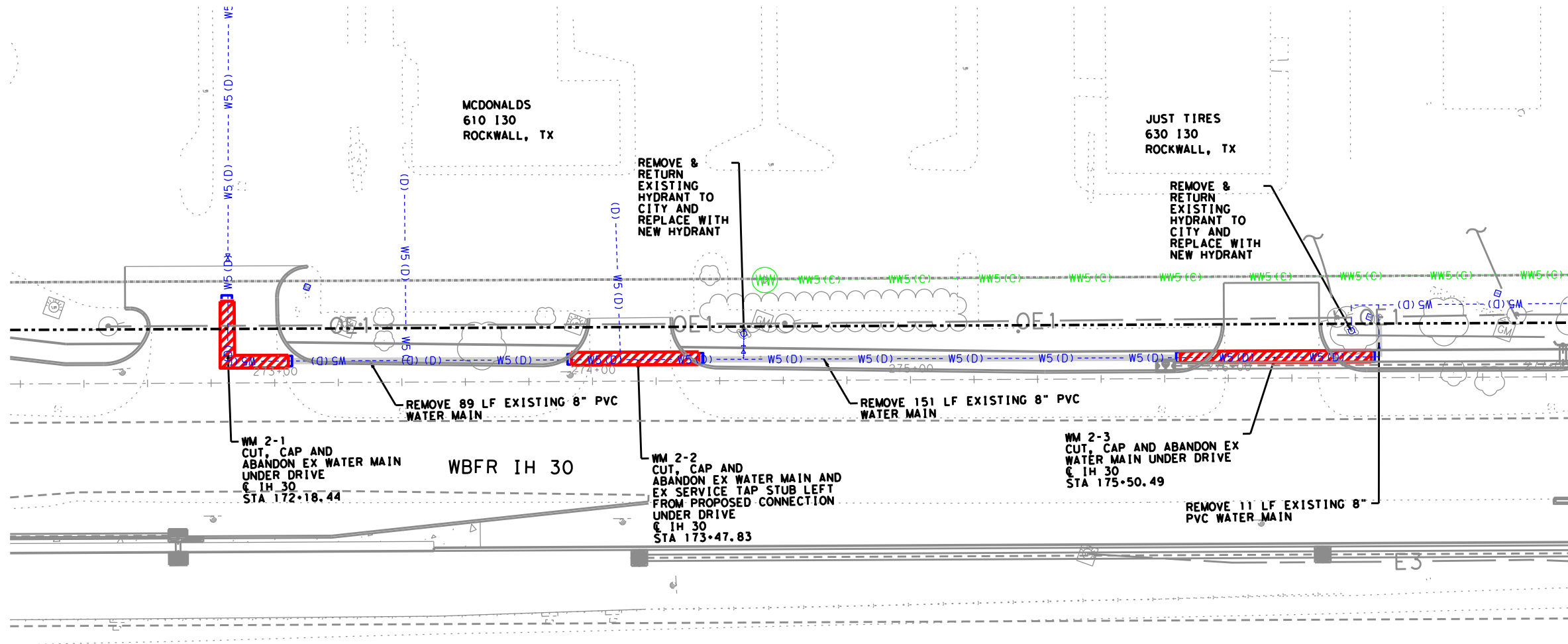
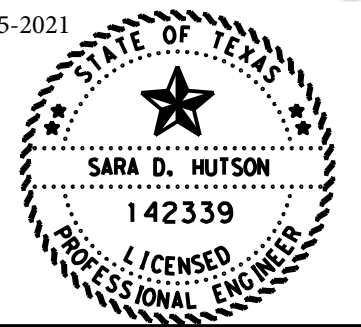
1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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LEGEND:

- REMOVAL
- ABANDONMENT
- CUT/CAP

Sara Hutson

11-5-2021



LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #02 - 1	WATER	2014	UNKNOWN	IN USE	8	PVC	40	4
WATER MAIN #02 - 2	WATER	2014	UNKNOWN	IN USE	8	PVC	40	4
WATER MAIN #02 - 3	WATER	2014	UNKNOWN	IN USE	8	PVC	60	4



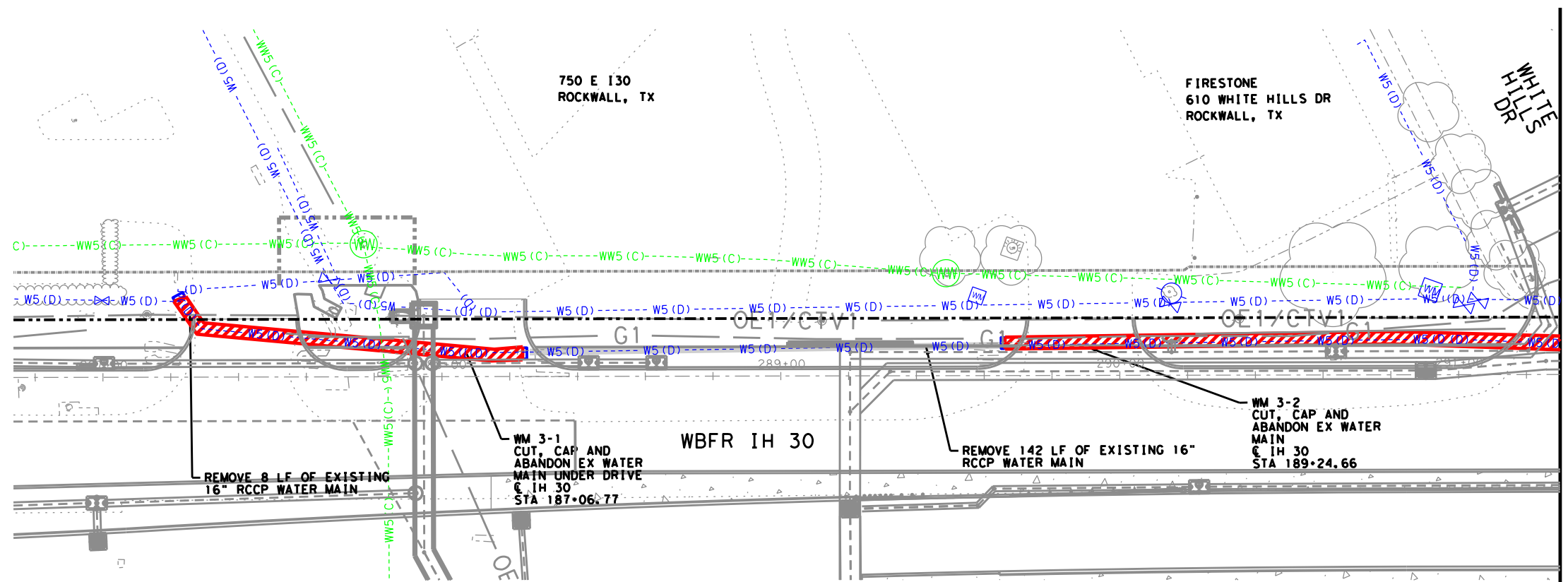
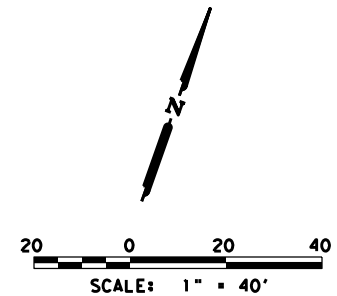
F-12679

**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #02**

SHEET 2 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNTY	SHEET NO.
DALLAS		79	9
		CITY	
		ROCKWALL	

DATE: 11-5-2021
FILE: 11-5-2021



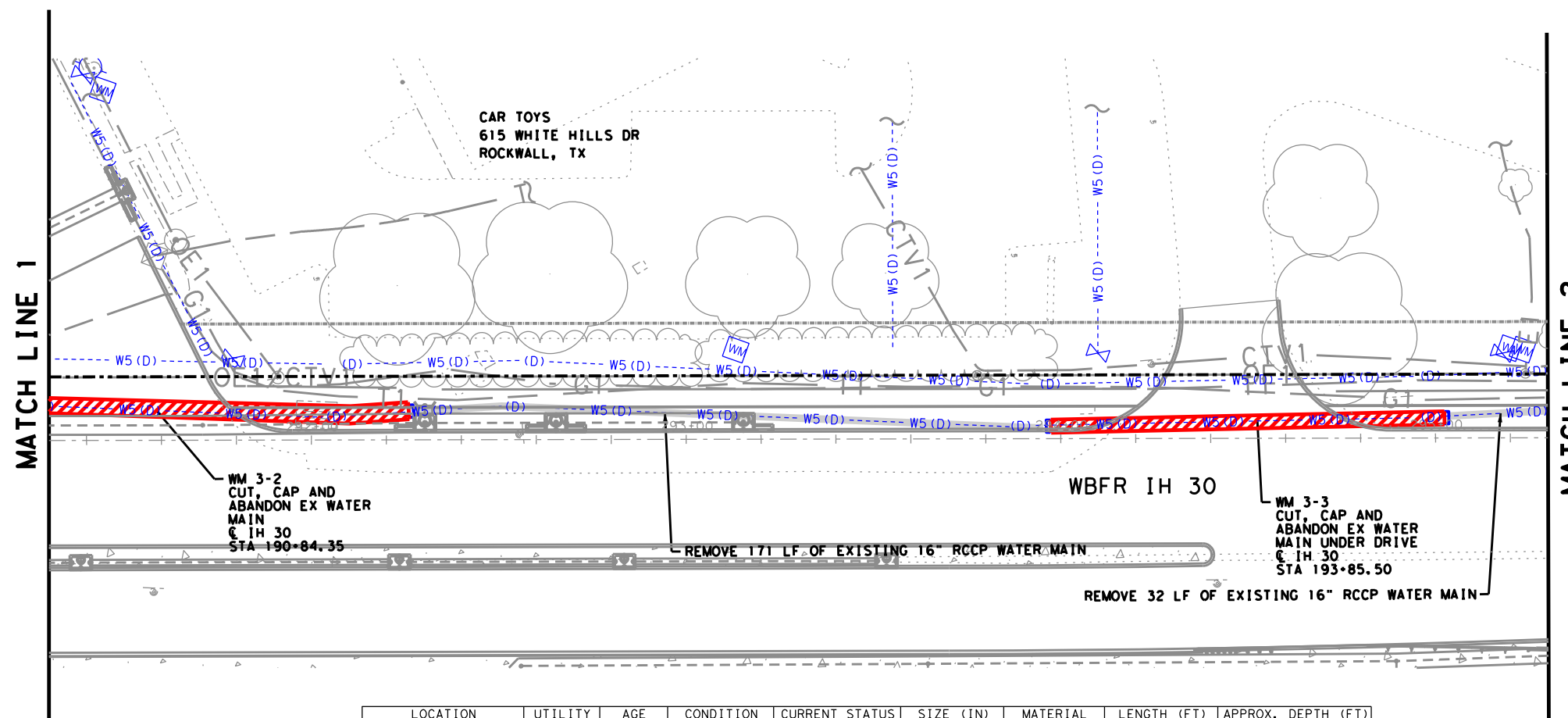
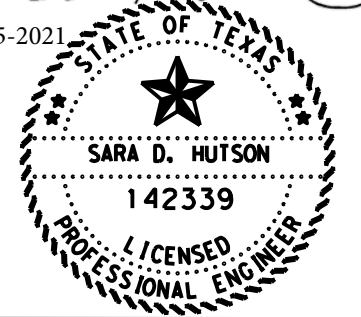
MATCH LINE 1

- NOTES:**
1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

- LEGEND:**
- REMOVAL
 - ABANDONMENT
 - CUT/CAP

Sara Hutson

11-5-2021



MATCH LINE 1

MATCH LINE 2

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #03 - 1	WATER	1984	UNKNOWN	IN USE	16	PVC	110	4
WATER MAIN #03 - 2	WATER	1984	UNKNOWN	IN USE	16	PVC	260	4
WATER MAIN #03 - 3	WATER	1984	UNKNOWN	IN USE	16	PVC	105	4

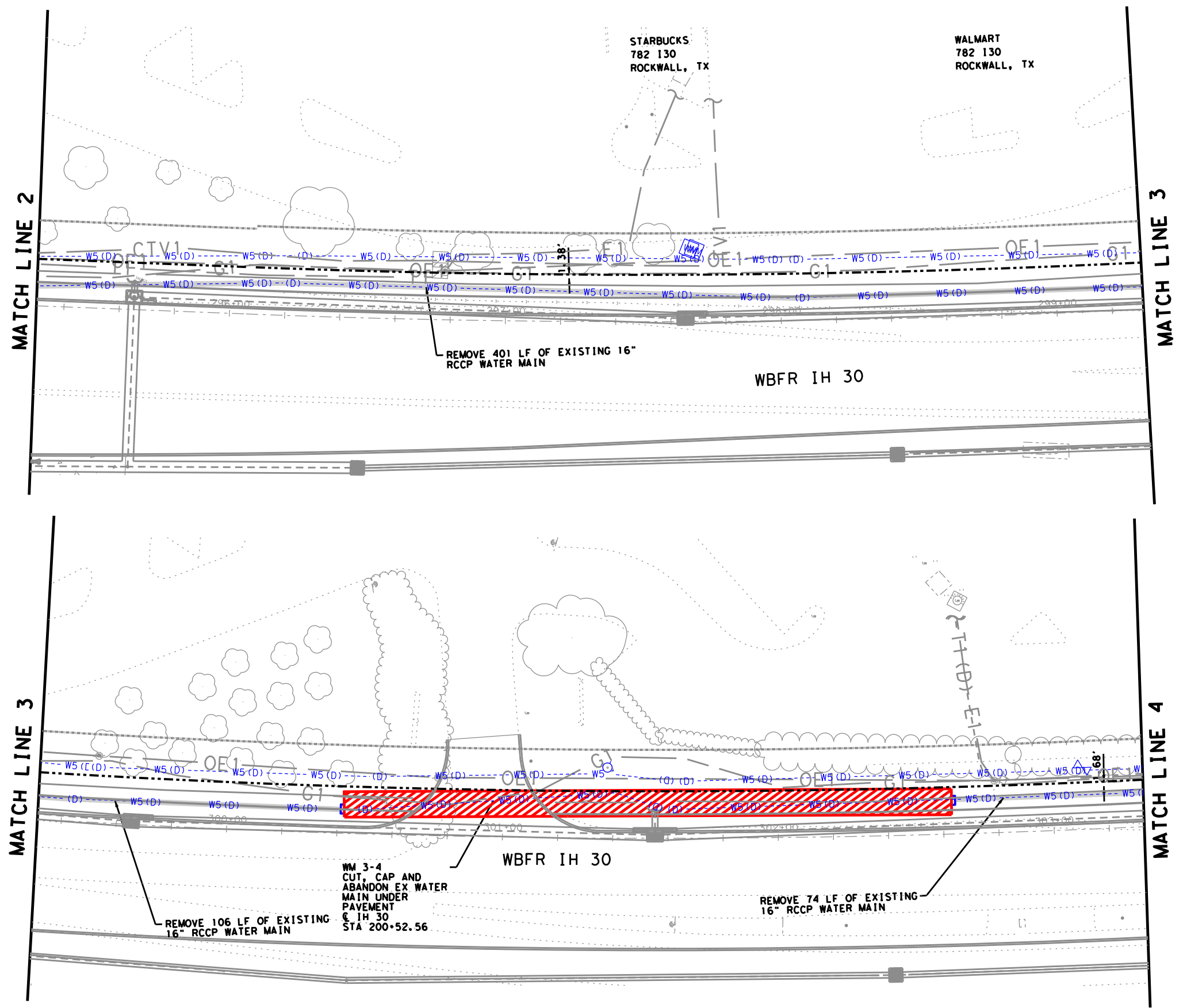
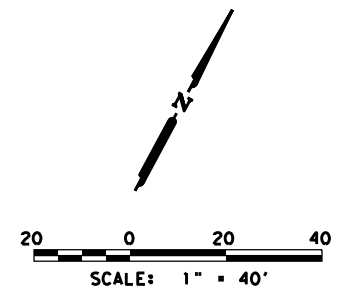


**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #03**

SHEET 3 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DALLAS		COUNTY: 80	SHEET NO.: 10
ROCKWALL			

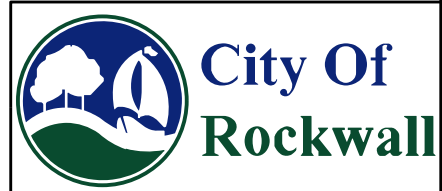
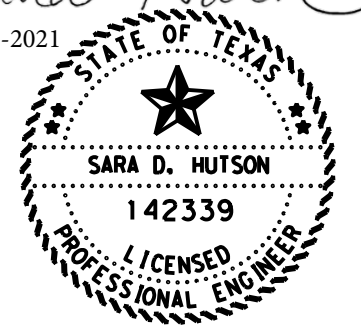
DATE: sDATES
FILE: sFILES



NOTES:
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LEGEND:
 REMOVAL 
 ABANDONMENT 
 CUT/CAP 

Sara Hutson
 11-5-2021



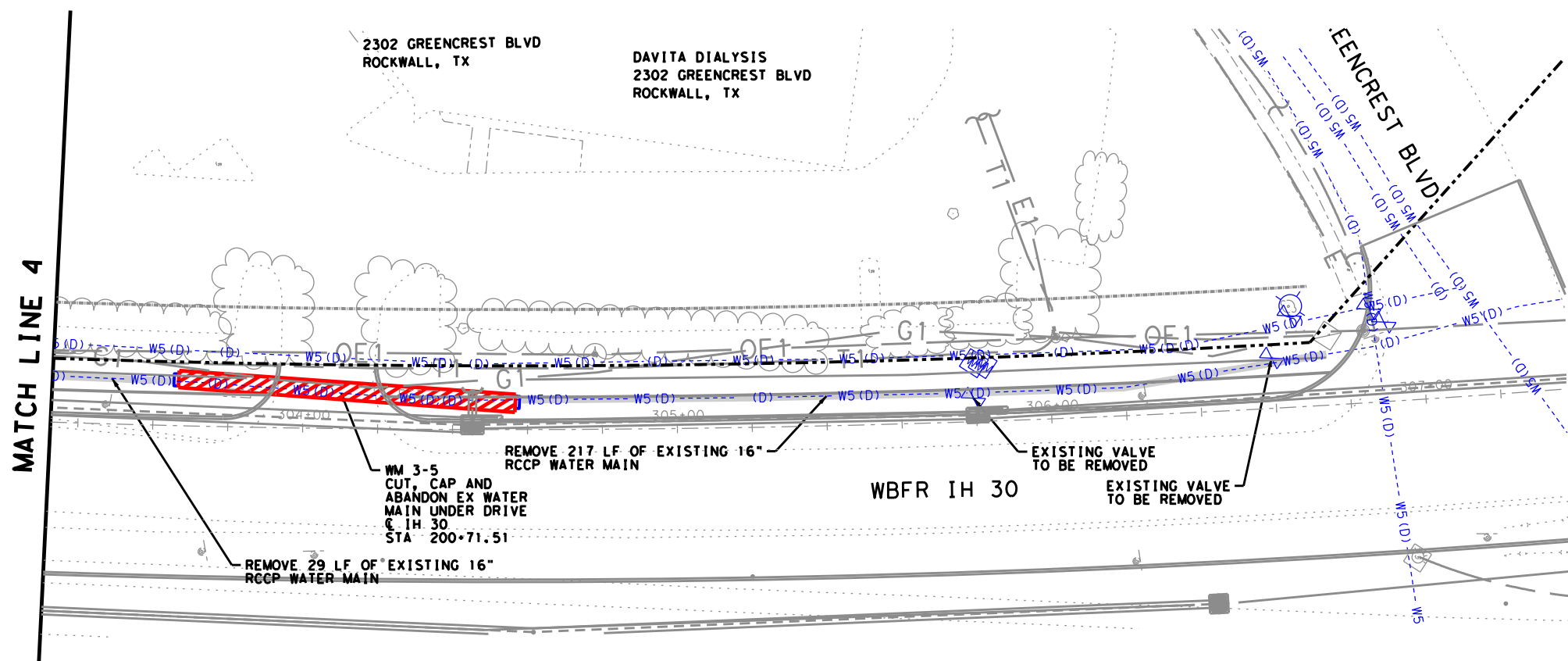
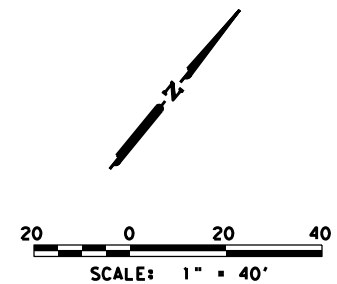
**ROCKWALL IH 30
 EX. CONDITIONS/REMOVAL/
 ABANDONMENT PLAN
 WATER MAIN #03**

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #03 - 4	WATER	1984	UNKNOWN	IN USE	16	PVC	220	4

DATE: **S**DATES **S**TIMES
 FILE: **S**FILES

SHEET 4 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	ROCKWALL	11	



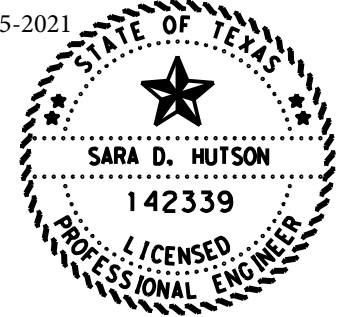
LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #03 - 5	WATER	1984	UNKNOWN	IN USE	16	PVC	90	4

- NOTES:**
1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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- LEGEND:**
- REMOVAL
 - ABANDONMENT
 - CUT/CAP

Sara Hutson

11-5-2021



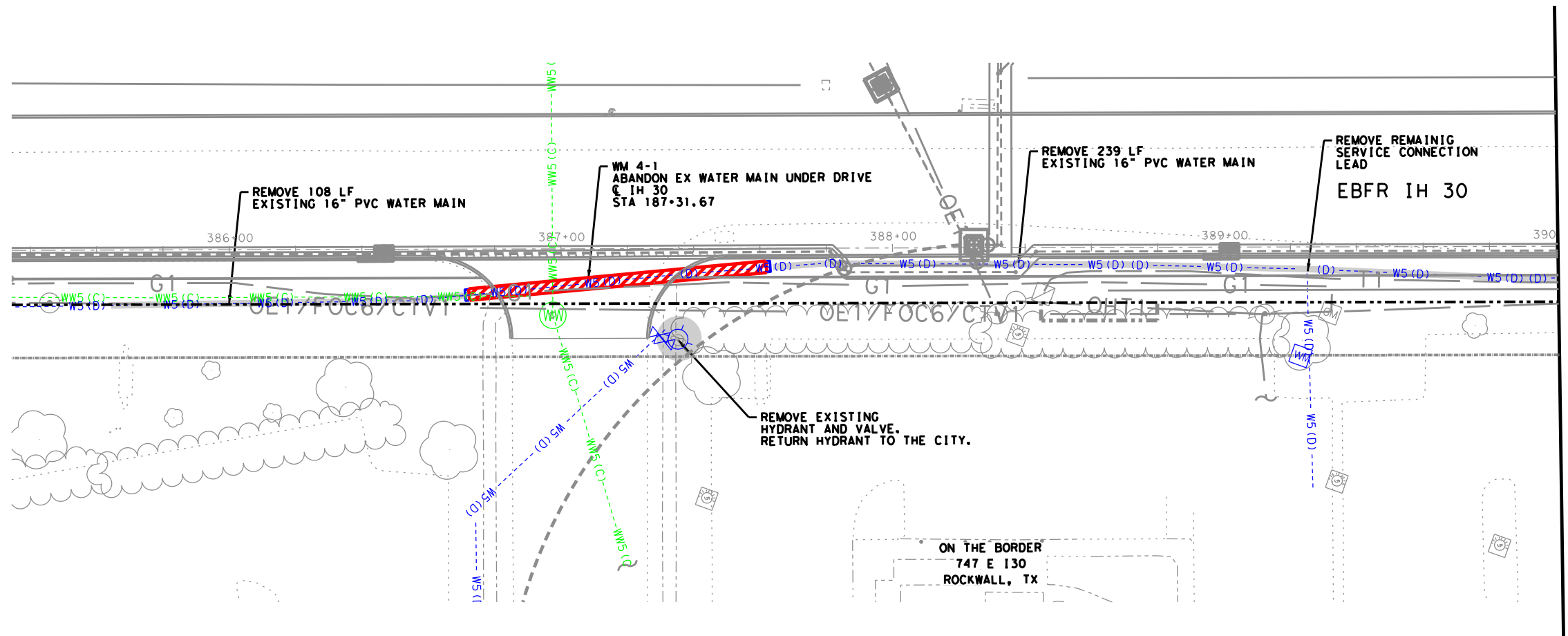
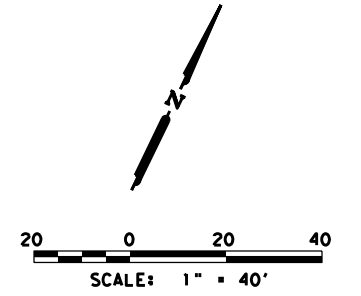
F-12679

**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #03**

SHEET 5 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		82	12
		ROCKWALL	

DATE: SDATES STIMES
FILE: SFILES



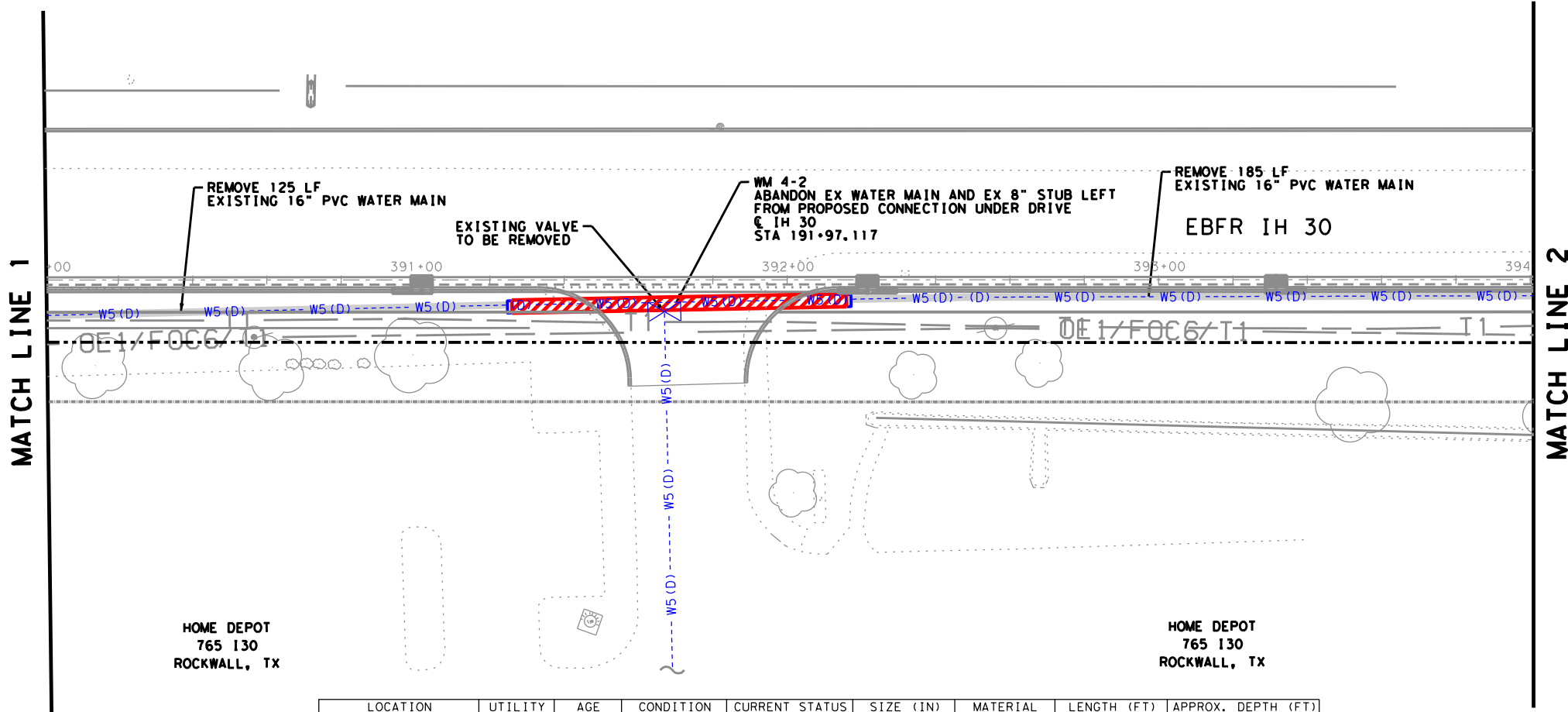
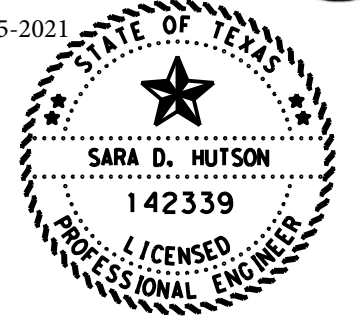
MATCH LINE 1

- NOTES:**
1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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- LEGEND:**
- REMOVAL
 - ABANDONMENT
 - CUT/CAP

Sara Hutson

11-5-2021



MATCH LINE 1

MATCH LINE 2

HOME DEPOT
765 130
ROCKWALL, TX

HOME DEPOT
765 130
ROCKWALL, TX

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #04 - 1	WATER	1995	UNKNOWN	IN USE	16	PVC	90	4
WATER MAIN #04 - 2	WATER	1995	UNKNOWN	IN USE	16	PVC	90	4

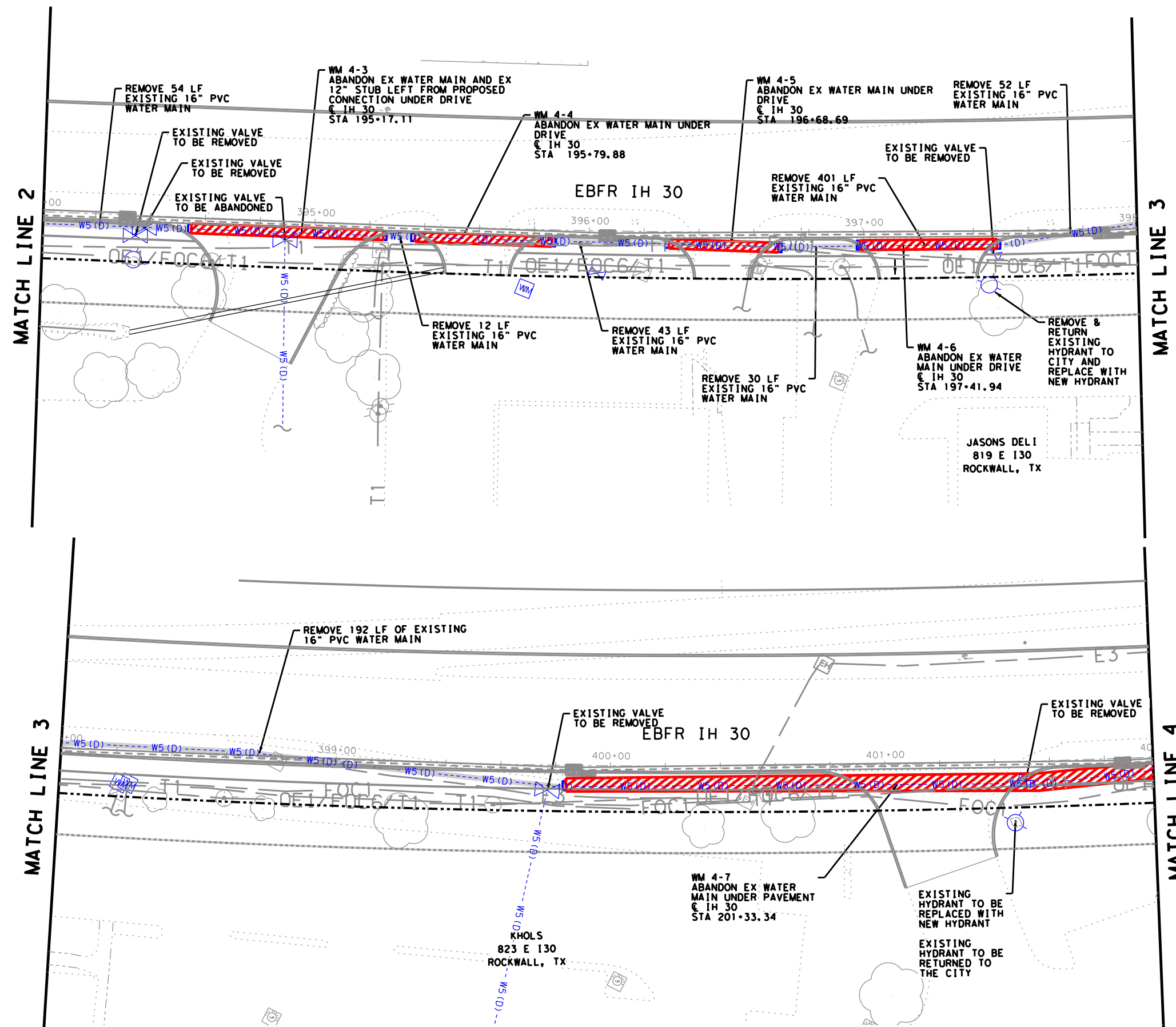
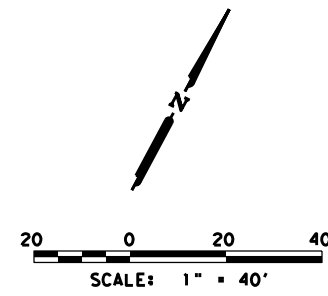


**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #04**

SHEET 6 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		83	13
		ROCKWALL	

DATE: \$DATES \$TIMES
FILE: \$FILES

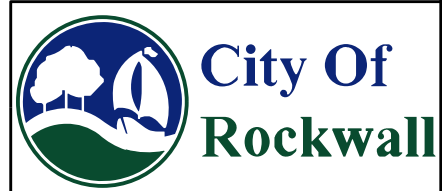
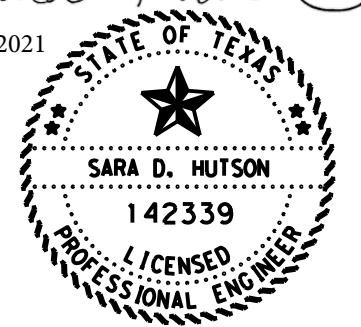


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1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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- LEGEND:**
- REMOVAL
 - ABANDONMENT
 - CUT/CAP

Sara Hutson

11-5-2021



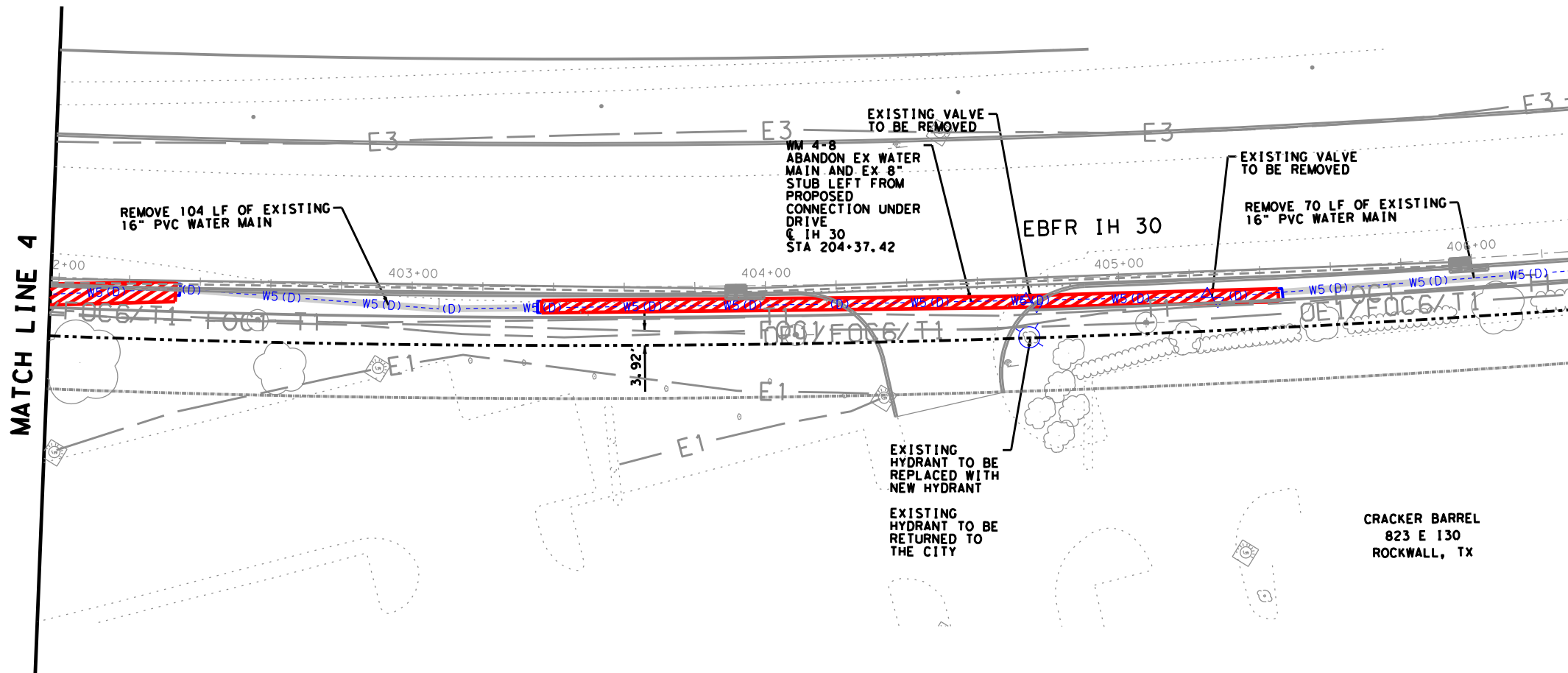
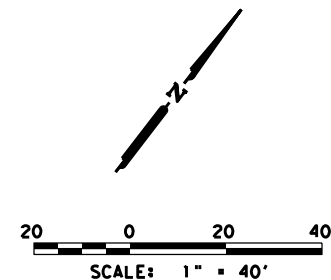
**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #04**

SHEET 7 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		84	14
		ROCKWALL	

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WATER MAIN #04 - 3	WATER	1995	UNKNOWN	IN USE	16	PVC	70	4
WATER MAIN #04 - 4	WATER	1995	UNKNOWN	IN USE	16	PVC	50	4
WATER MAIN #04 - 5	WATER	1995	UNKNOWN	IN USE	16	PVC	40	4
WATER MAIN #04 - 6	WATER	1995	UNKNOWN	IN USE	16	PVC	50	4
WATER MAIN #04 - 7	WATER	1995	UNKNOWN	IN USE	16	PVC	250	4

DATE: sDATES
FILE: sFILES



NOTES:

1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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LEGEND:

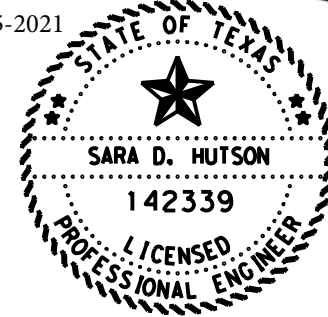
REMOVAL

ABANDONMENT

CUT/CAP

Sara Hutson

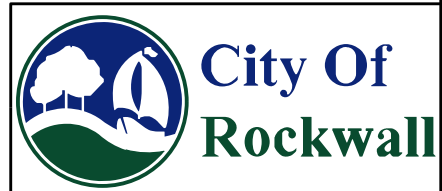
11-5-2021



CRACKER BARREL
823 E 130
ROCKWALL, TX

WATER MAIN #04 - 8	WATER	1995	UNKNOWN	IN USE	17	PVC	210	4
LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)

DATE: **SDATES** STIMES
FILE: **SFILES**

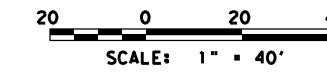
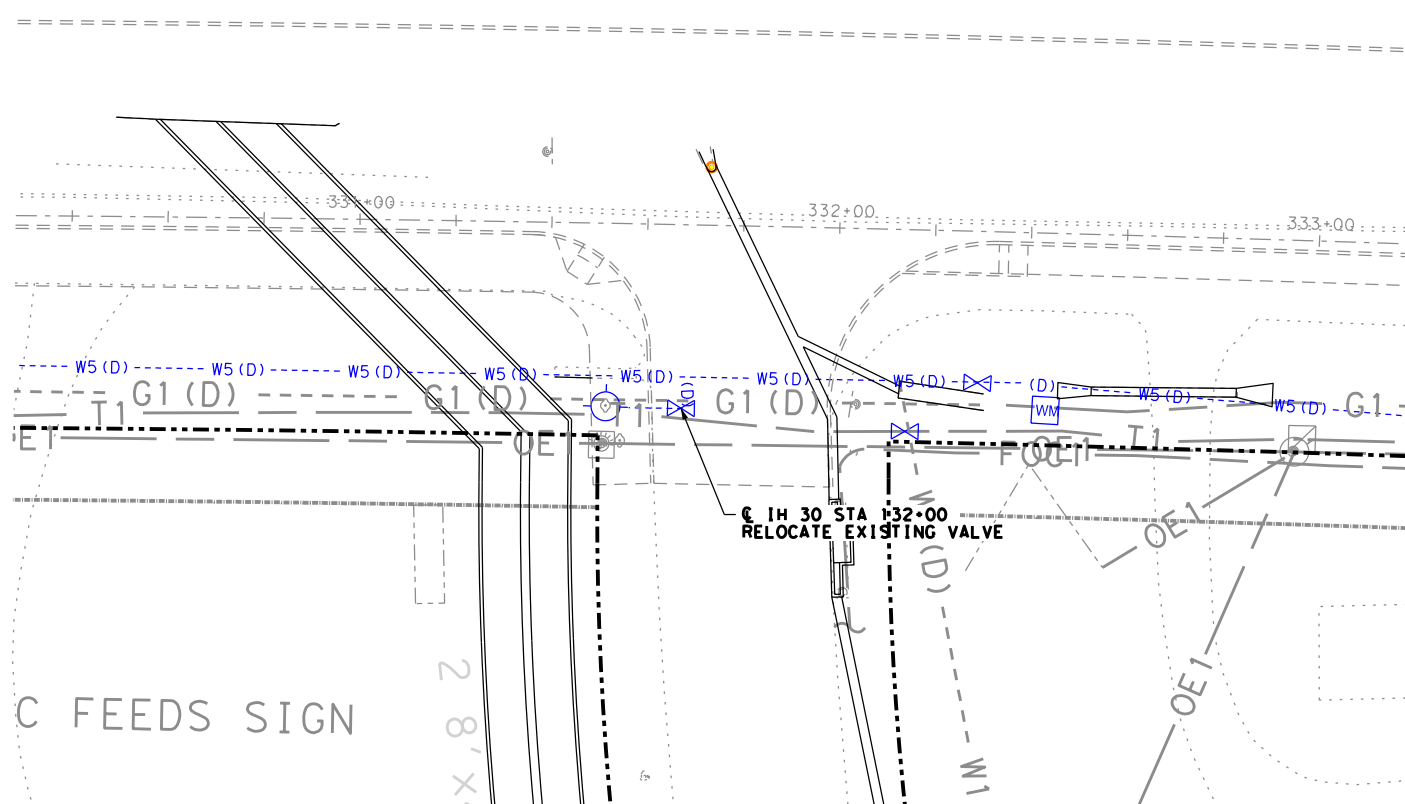
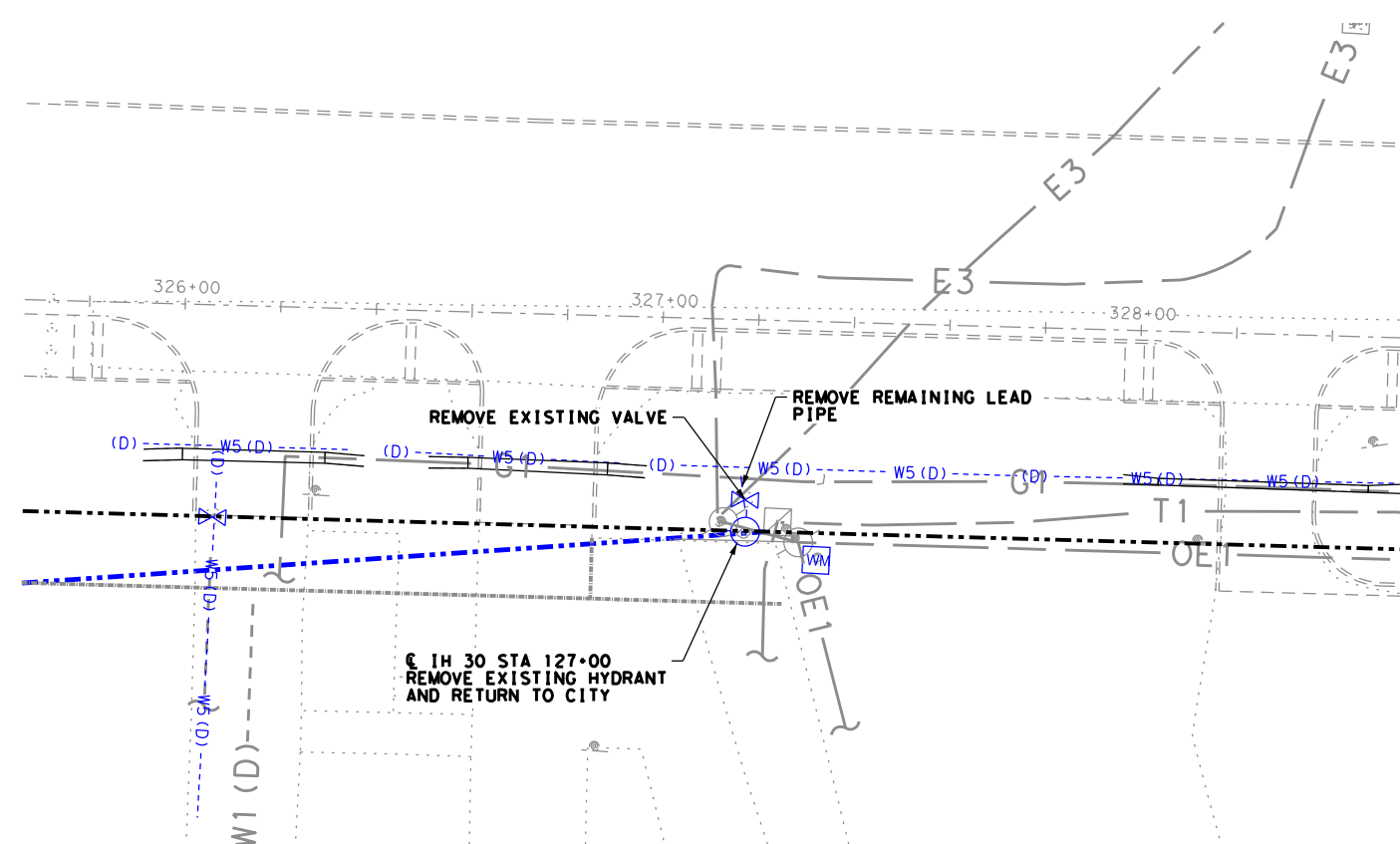


F-12679

**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #04**

SHEET 8 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	85	15	
ROCKWALL			

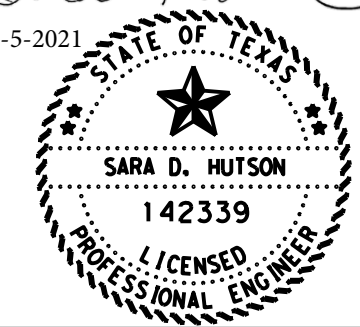


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- LEGEND:**
- REMOVAL
 - ABANDONMENT
 - CUT/CAP

Sara Hutson

11-5-2021

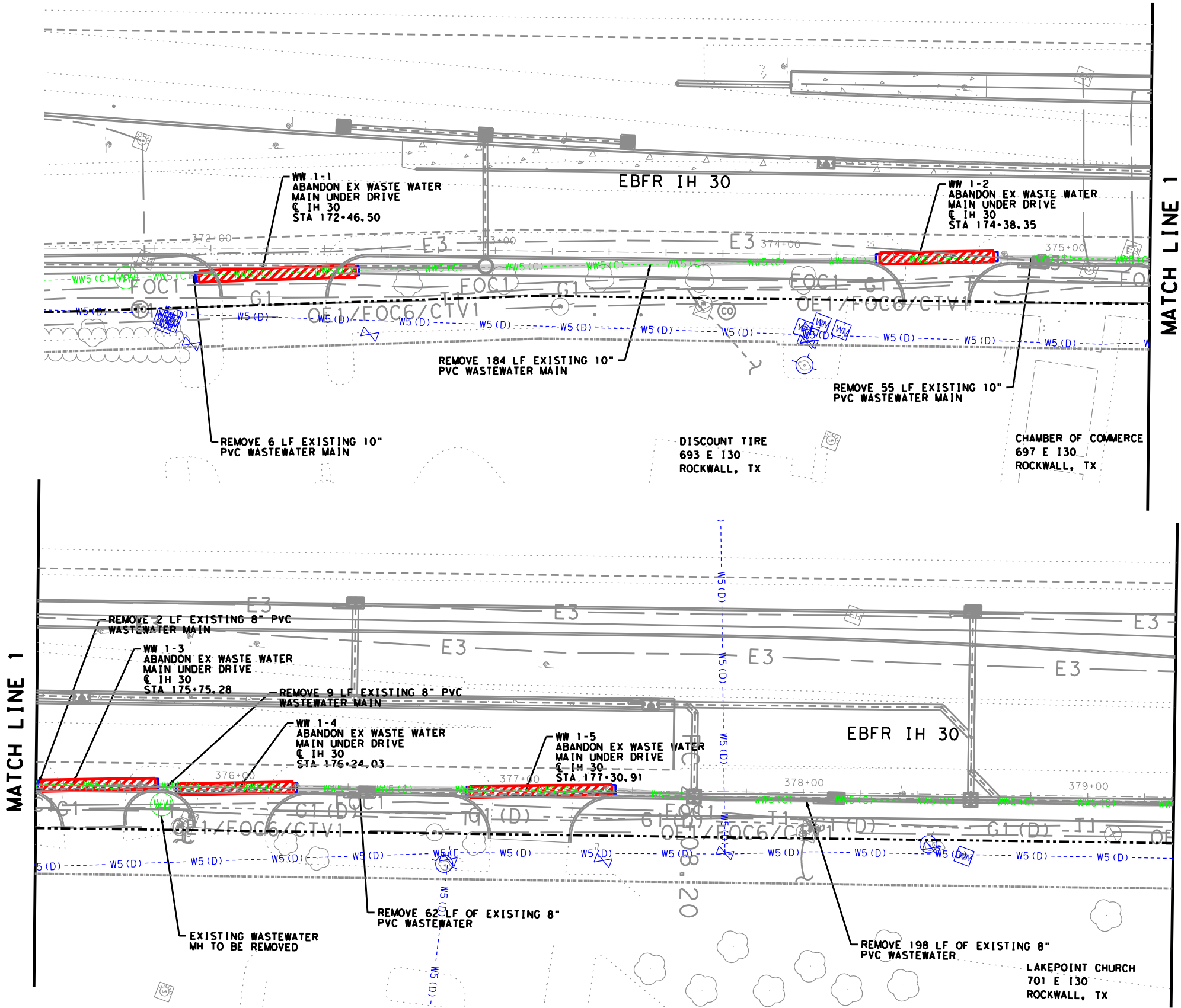
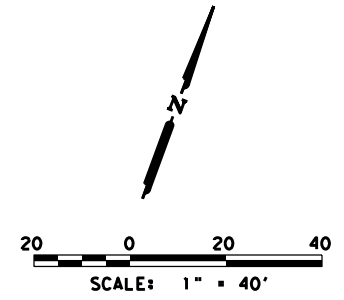


ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WATER MAIN #05

SHEET 9 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	86	16	

DATE: 11-5-2021
FILE: 11-5-2021



NOTES:
 1. ABANDONED WATER LINE PIPES TO REMAIN IN PLACE SHALL BE PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED PIPE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
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LEGEND:
 REMOVAL [Red hatched box]
 ABANDONMENT [Red hatched box with diagonal lines]
 CUT/CAP [Blue 'J' symbol]

Sara Hutson
 11-5-2021
 STATE OF TEXAS
 SARA D. HUTSON
 142339
 LICENSED PROFESSIONAL ENGINEER



VOLKERT
 F-12679

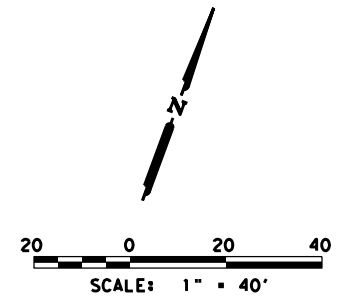
ROCKWALL IH 30 EX. CONDITIONS/REMOVAL/ABANDONMENT PLAN WASTEWATER #01

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WASTE WATER #01 - 1	SANITARY	1994	UNKNOWN	IN USE	10	PVC	55	10
WASTE WATER #01 - 2	SANITARY	1994	UNKNOWN	IN USE	10	PVC	40	10
WASTE WATER #01 - 3	SANITARY	1994	UNKNOWN	IN USE	10	PVC	40	10
WASTE WATER #01 - 4	SANITARY	1981	UNKNOWN	IN USE	8	PVC	40	10
WASTE WATER #01 - 5	SANITARY	1981	UNKNOWN	IN USE	8	PVC	50	10

DATE: SDATES STIMES
FILE: SFILES

SHEET 10 OF 11

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DALLAS		COUNTY: 87	SHEET NO.: 17
DALLAS		CITY: ROCKWALL	



NOTES:

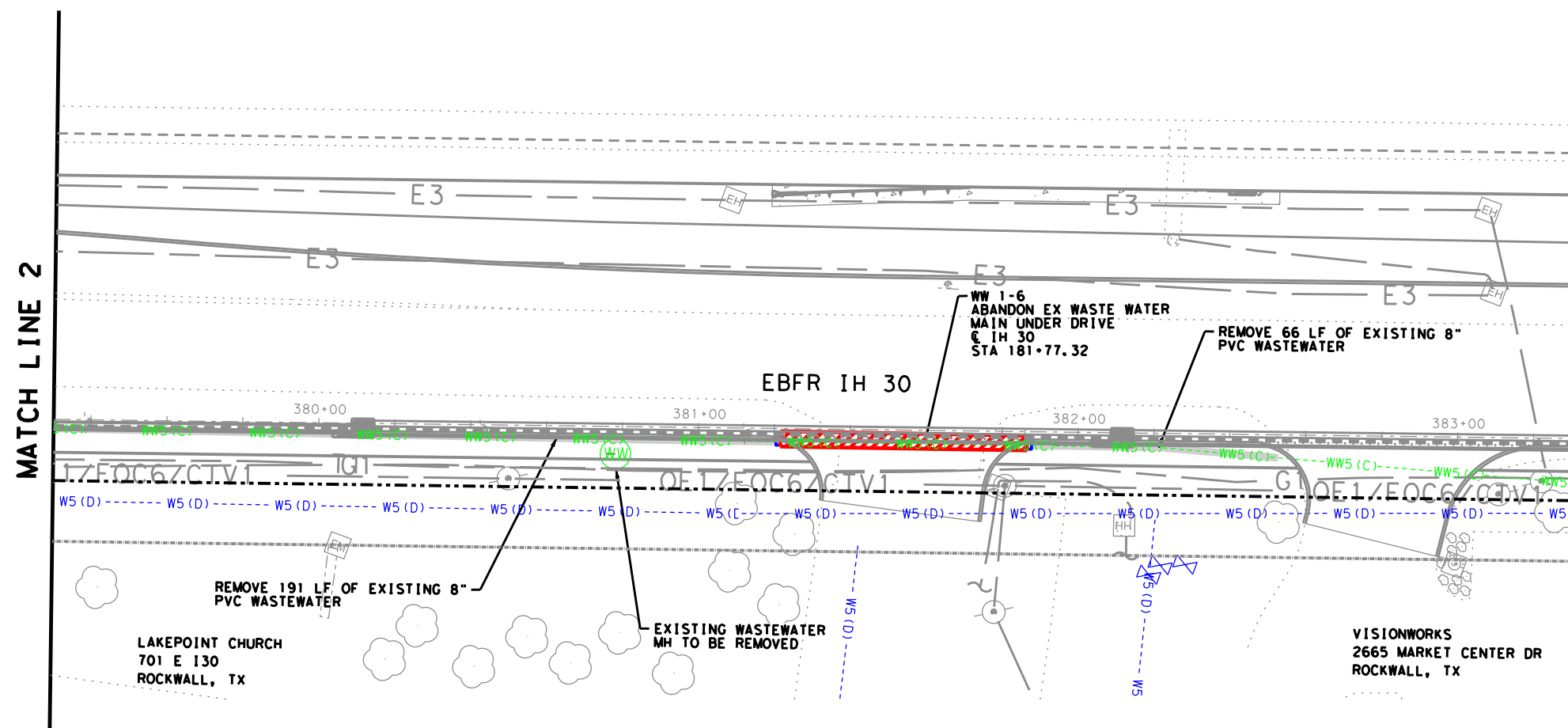
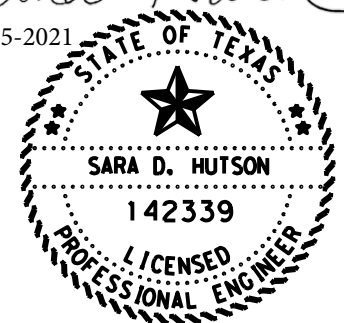
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LEGEND:

- REMOVAL
- ABANDONMENT
- CUT/CAP

Sara Hutson

11-5-2021



LAKEPOINT CHURCH
701 E 130
ROCKWALL, TX

VISIONWORKS
2665 MARKET CENTER DR
ROCKWALL, TX

LOCATION	UTILITY	AGE	CONDITION	CURRENT STATUS	SIZE (IN)	MATERIAL	LENGTH (FT)	APPROX. DEPTH (FT)
WASTE WATER #01 - 6	SANITARY	UNKNOWN	UNKNOWN	IN USE	8	PVC	65	10



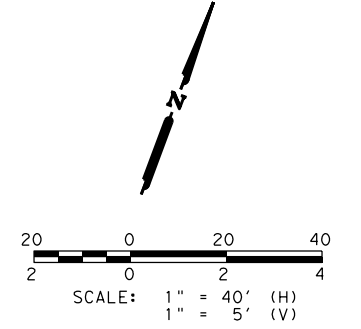
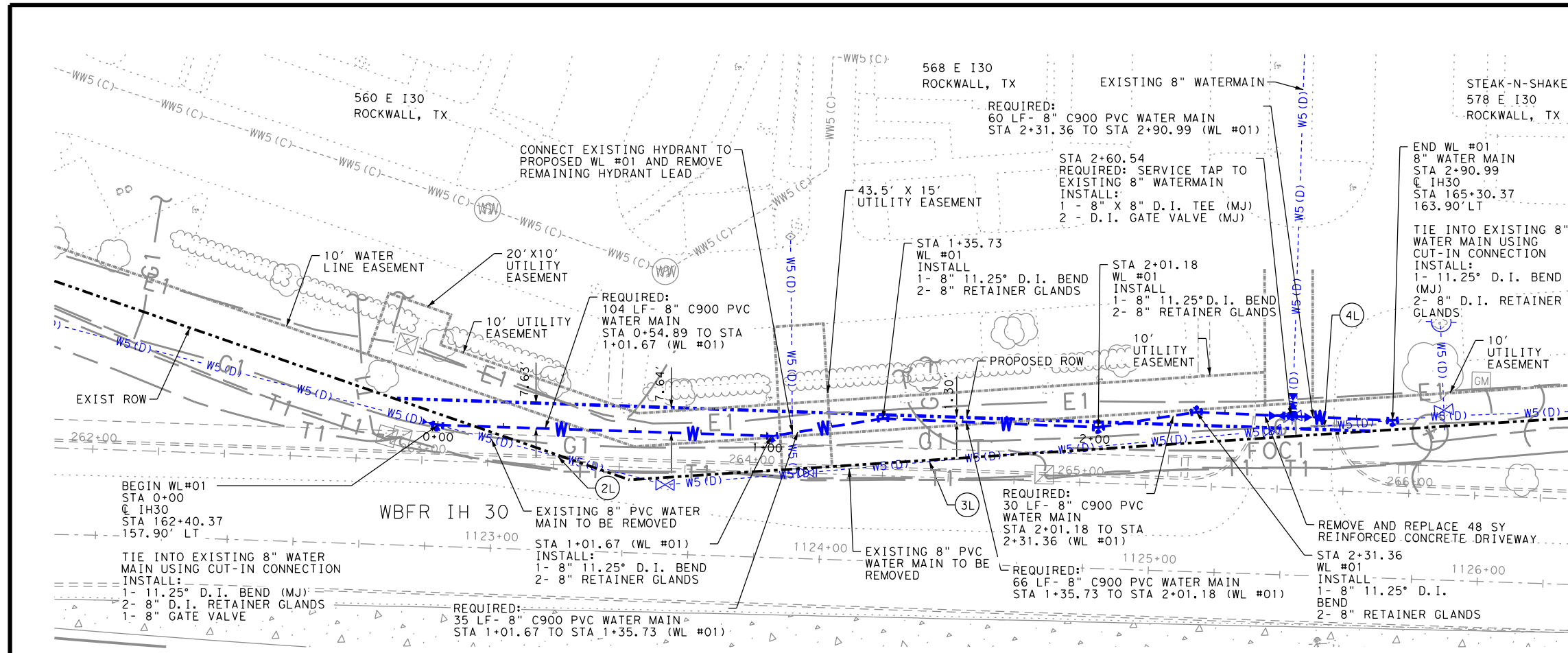
F-12679

**ROCKWALL IH 30
EX. CONDITIONS/REMOVAL/
ABANDONMENT PLAN
WASTEWATER #01**

SHEET 11 OF 11

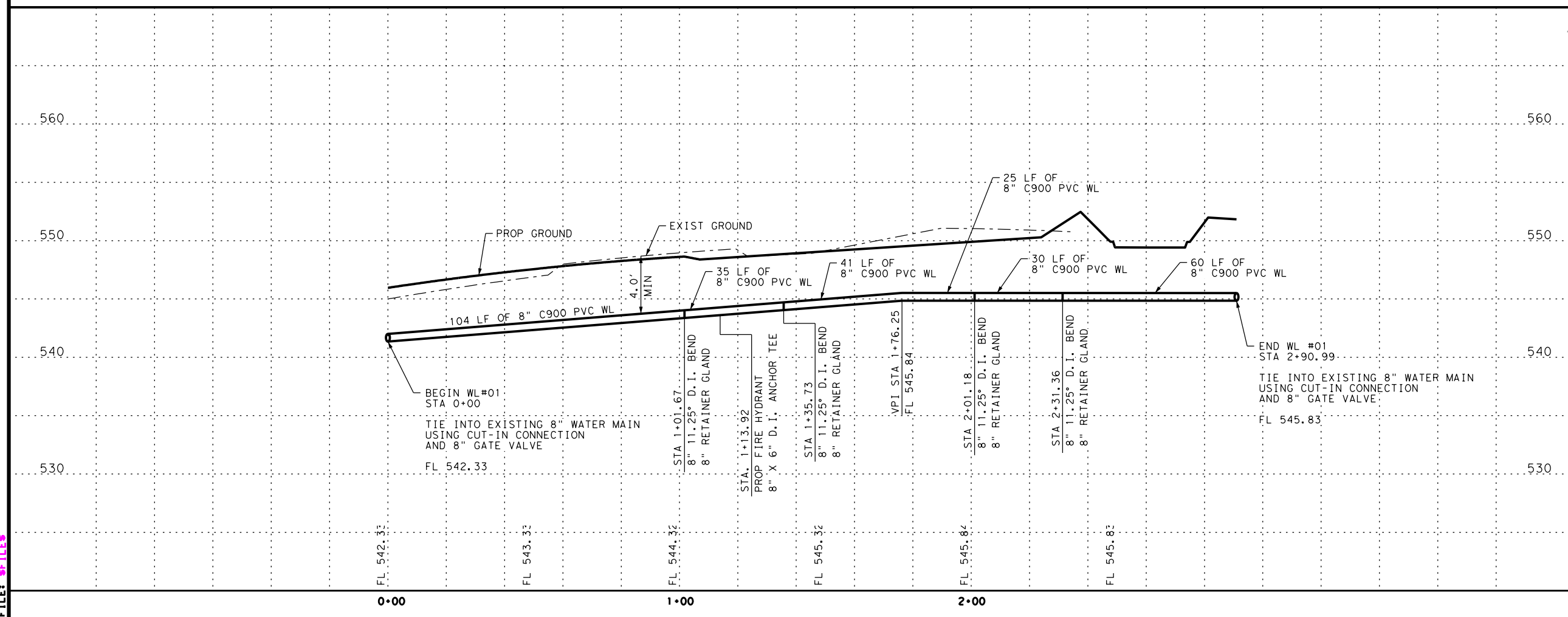
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		88	18
		ROCKWALL	

DATE: \$DATES \$TIMES
FILE: \$FILES



- NOTES:**
1. ALL WATERLINE BENDS, FITTINGS, AND VALVES TO BE RESTRAINED AND THRUST BLOCKED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION AND MAINTAIN A 2 FT MINIMUM VERTICAL CLEARANCE.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
 5. ALL WATER AND WASTEWATER MAIN TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES UNLESS OTHERWISE NOTED. ALL BORING OF WATER AND WASTEWATER LINE SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.

#	CONFLICT
2L	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
3L	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
4L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP



Sara Hutson
11-5-2021

City Of Rockwall

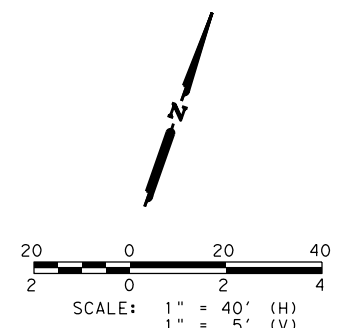
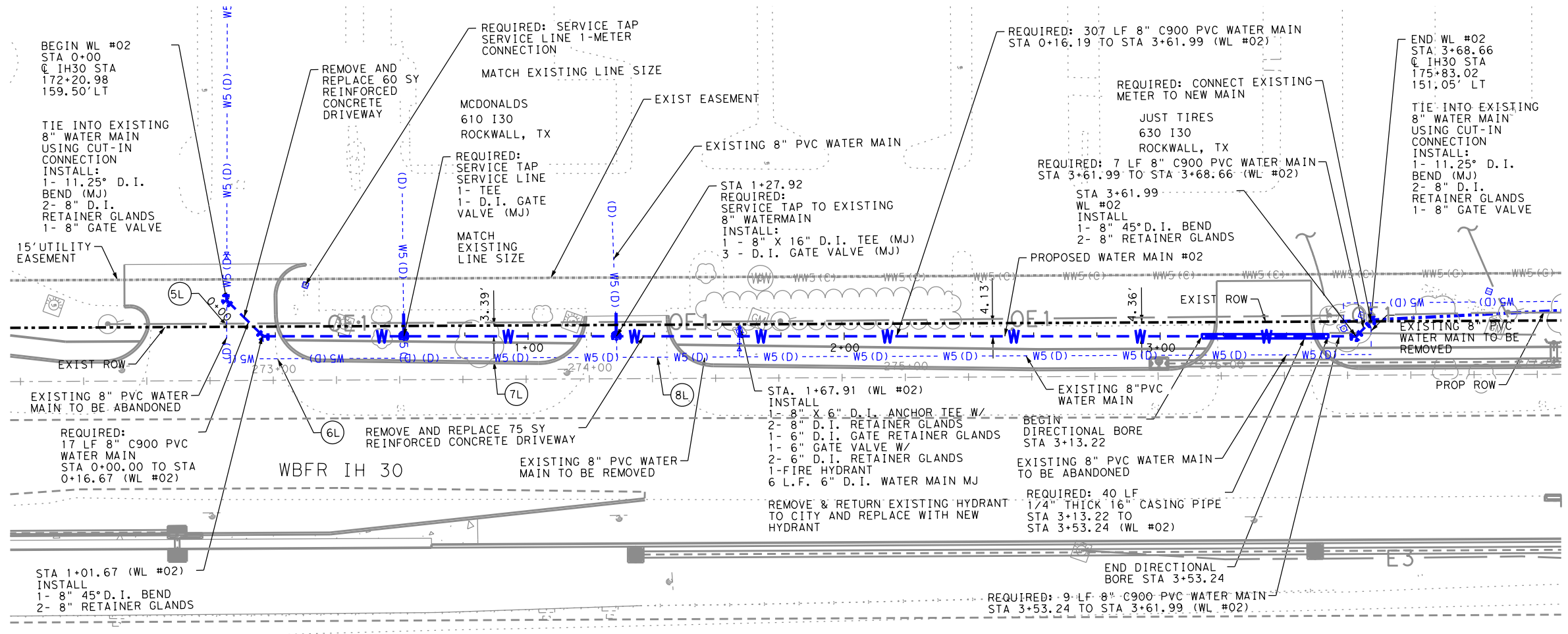
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ROCKWALL IH 30 WATER MAIN #01 PLAN AND PROFILE

SHEET 1 OF 1

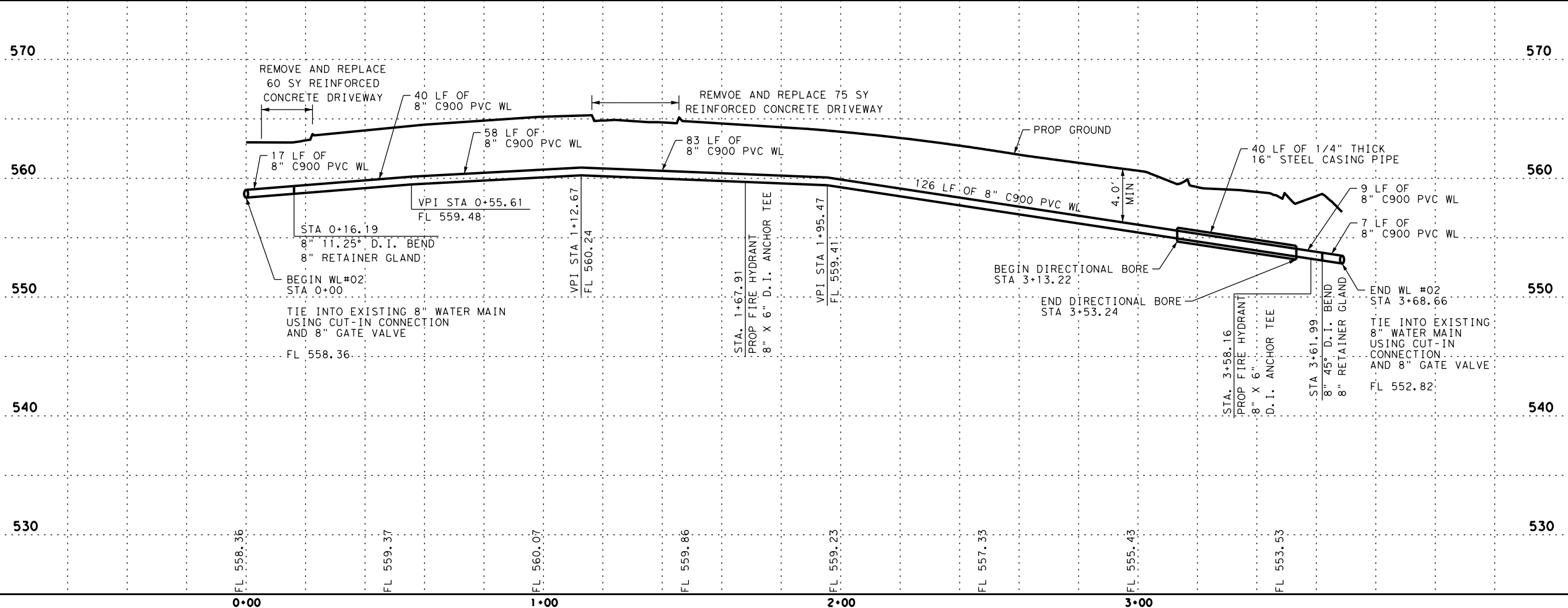
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	ROCKWALL	19	

DATE: sDATES STIMES
FILE: sFILES



- NOTES:**
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#	CONFLICT
5L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP
6L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP
7L	EXISTING WATER LINE WITH ILLUM. (BORE)
8L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP



11-5-2021

SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER



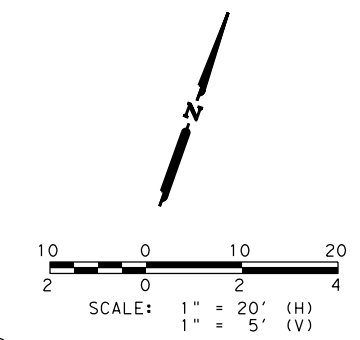
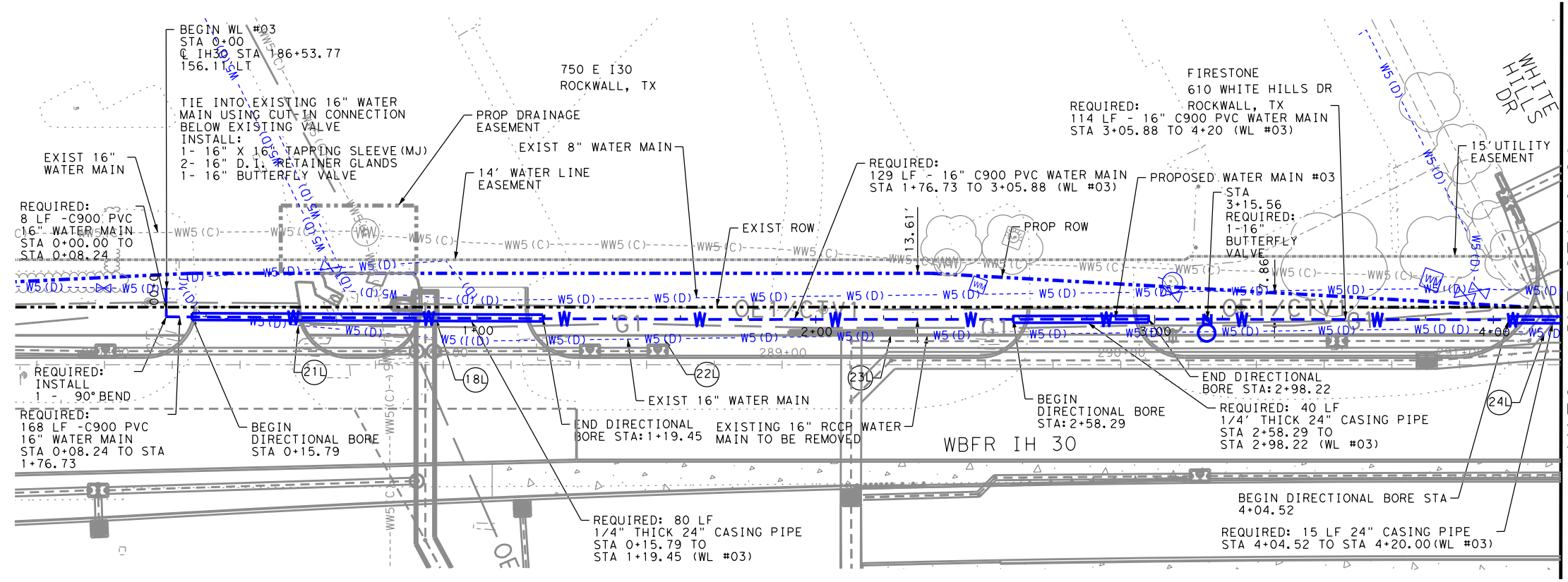
VOLKERT
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ROCKWALL IH 30 WATER MAIN #02 PLAN AND PROFILE

SHEET 1 OF 1

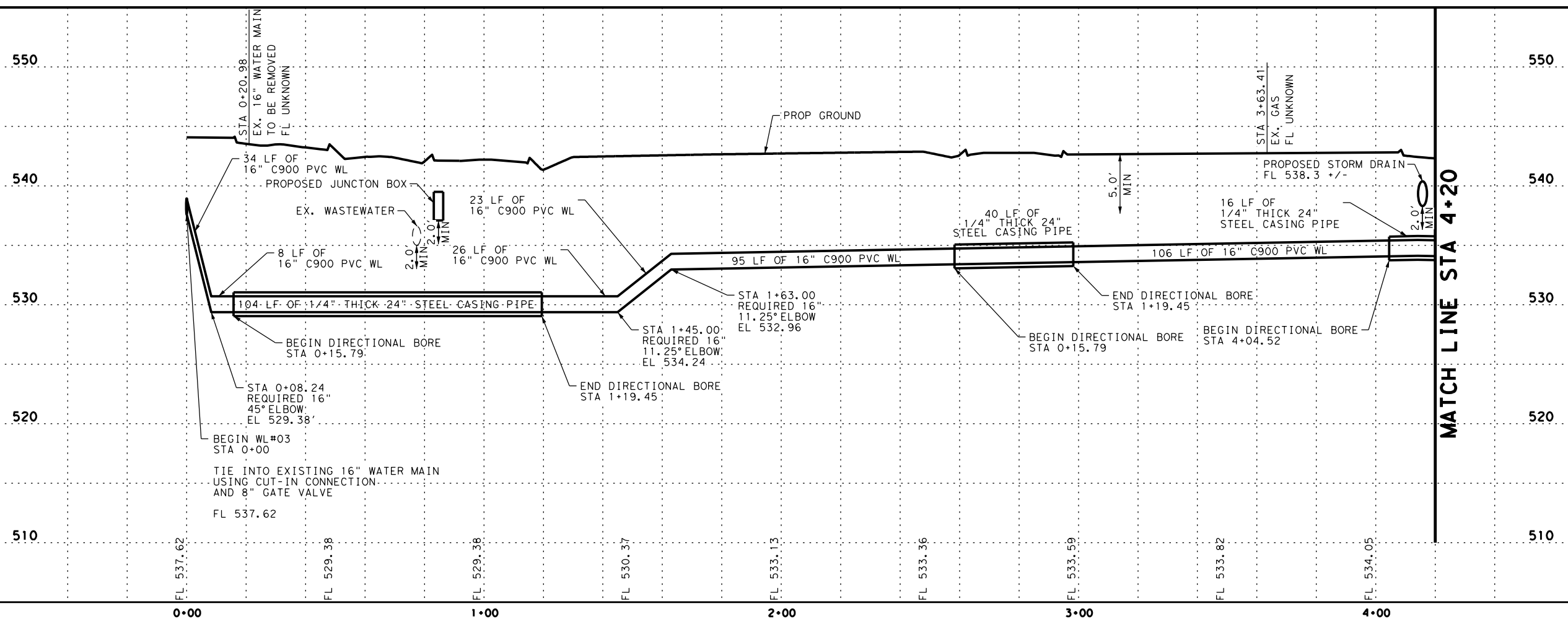
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	ROCKWALL	20	

DATE: SDATES STIMES
FILE: SFILES



- NOTES:**
1. ALL WATERLINE BENDS, FITTINGS, AND VALVES TO BE RESTRAINED AND THRUST BLOCKED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION AND MAINTAIN A 2 FT MINIMUM VERTICAL CLEARANCE.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
 5. ALL WATER AND WASTEWATER MAIN TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES UNLESS OTHERWISE NOTED. ALL BORING OF WATER AND WASTEWATER LINE SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.

#	CONFLICT
21L	PROP STORM LINE WITH EX WATER LINE (APPROX. 4 FT DEEP)
22L	PROP STORM LINE WITH EX WATER LINE (APPROX. 4 FT DEEP)
18L	PROP STORM LINE WITH EX WATER LINE (APPROX. 4 FT DEEP)
23L	PROP STORM LINE WITH EX WATER LINE (APPROX. 4 FT DEEP)
24L	PROP STORM LINE WITH EX WATER LINE (APPROX. 4 FT DEEP)



11-5-2021

Sara D. Hutson

STATE OF TEXAS

SARA D. HUTSON

142339

PROFESSIONAL ENGINEER



VOLKERT

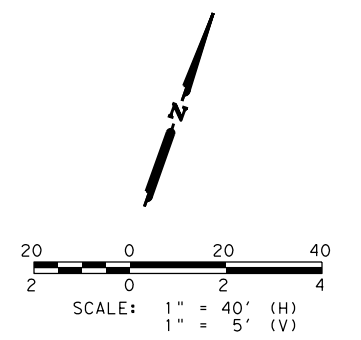
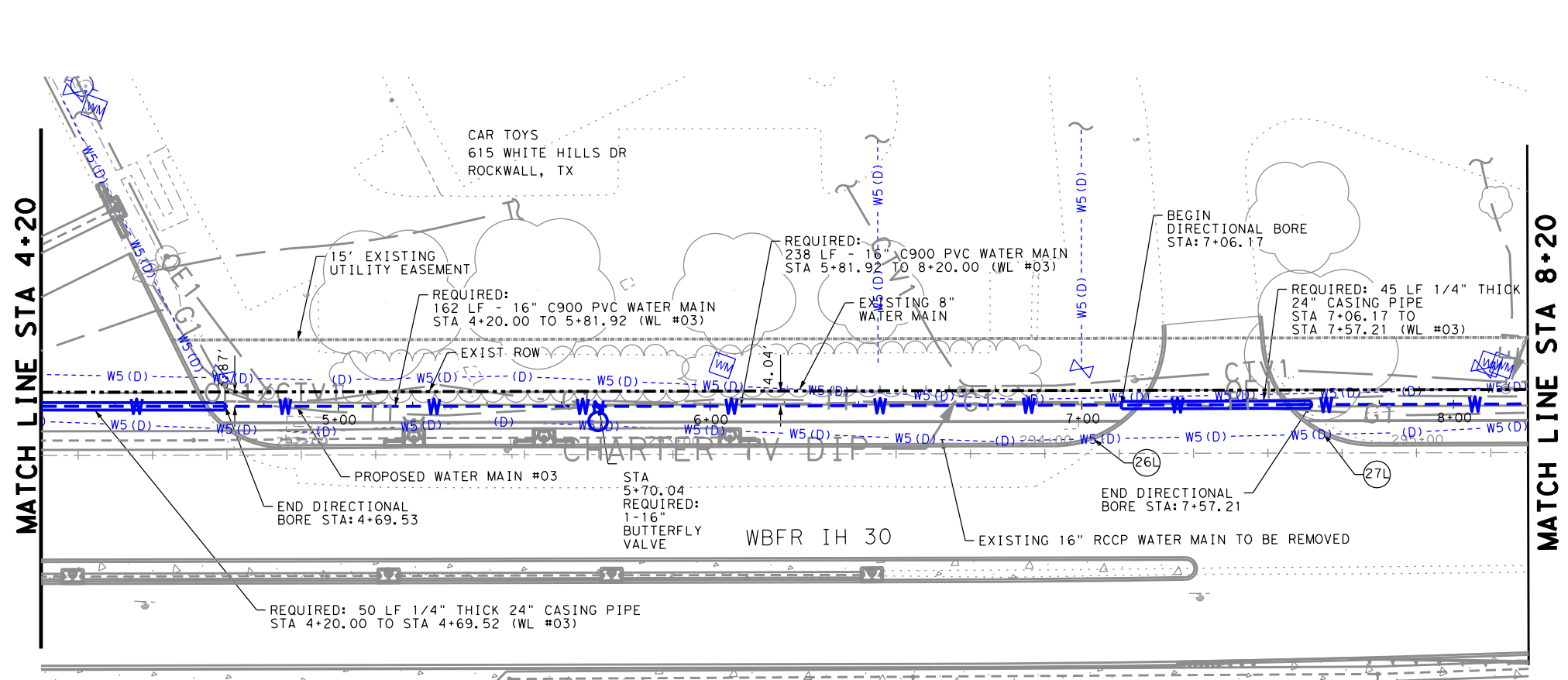
F-12679

ROCKWALL IH 30
WATER MAIN #03
PLAN AND PROFILE

SHEET 1 OF 5

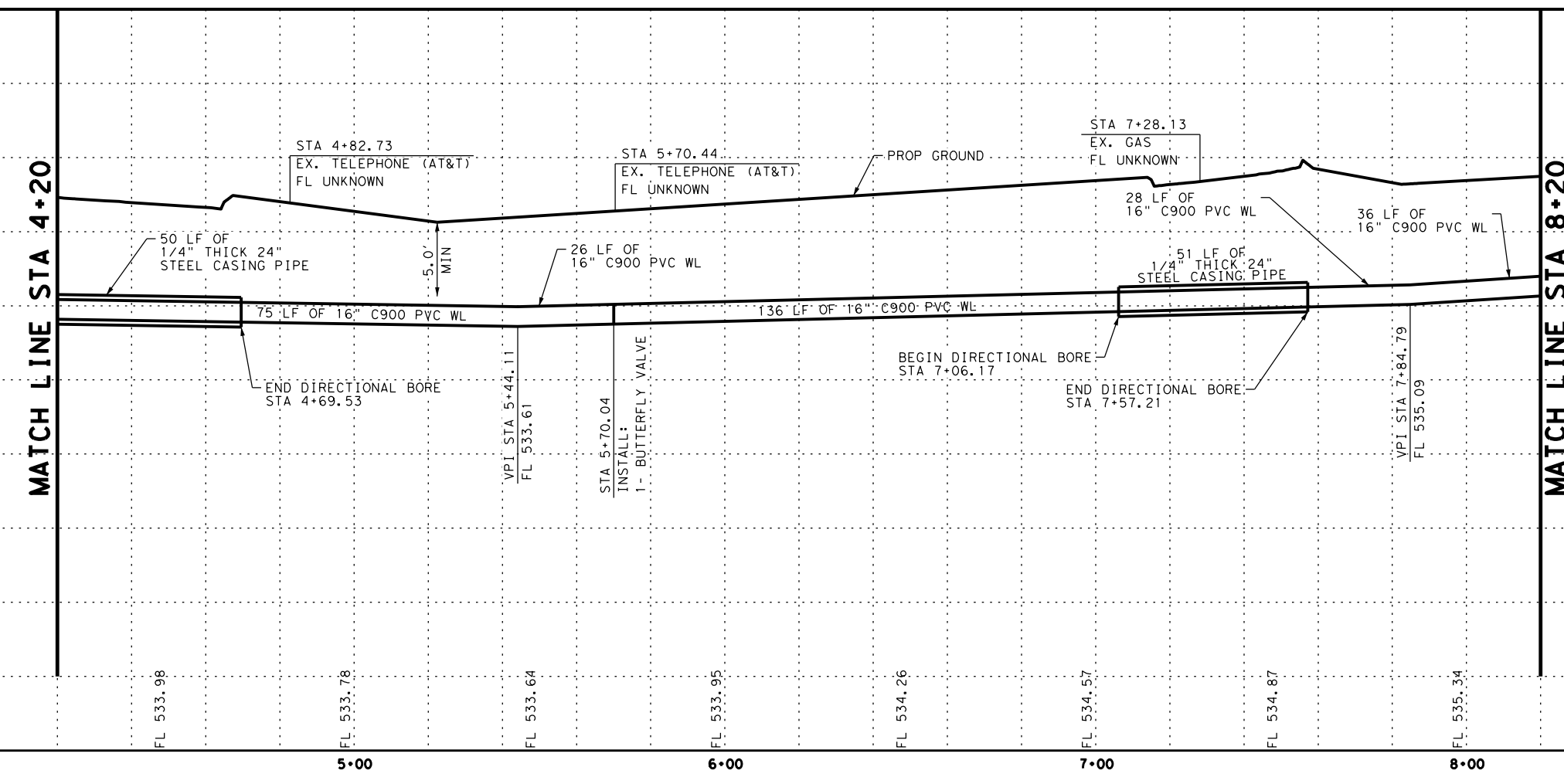
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0009	12	220	IH 30
DIST	COUNT	SHEET NO.	
DALLAS	ROCKWALL	21	

DATE: 11-5-2021
 FILE: 11-5-2021



- NOTES:**
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#	CONFLICT
26L	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
27L	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT



Sara D. Hutson
 11-5-2021
 STATE OF TEXAS
 SARA D. HUTSON
 142339
 LICENSED PROFESSIONAL ENGINEER



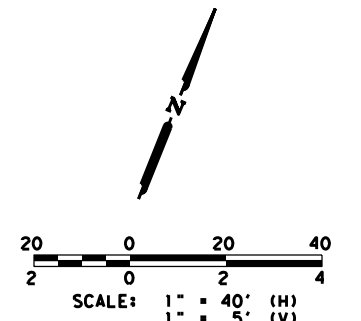
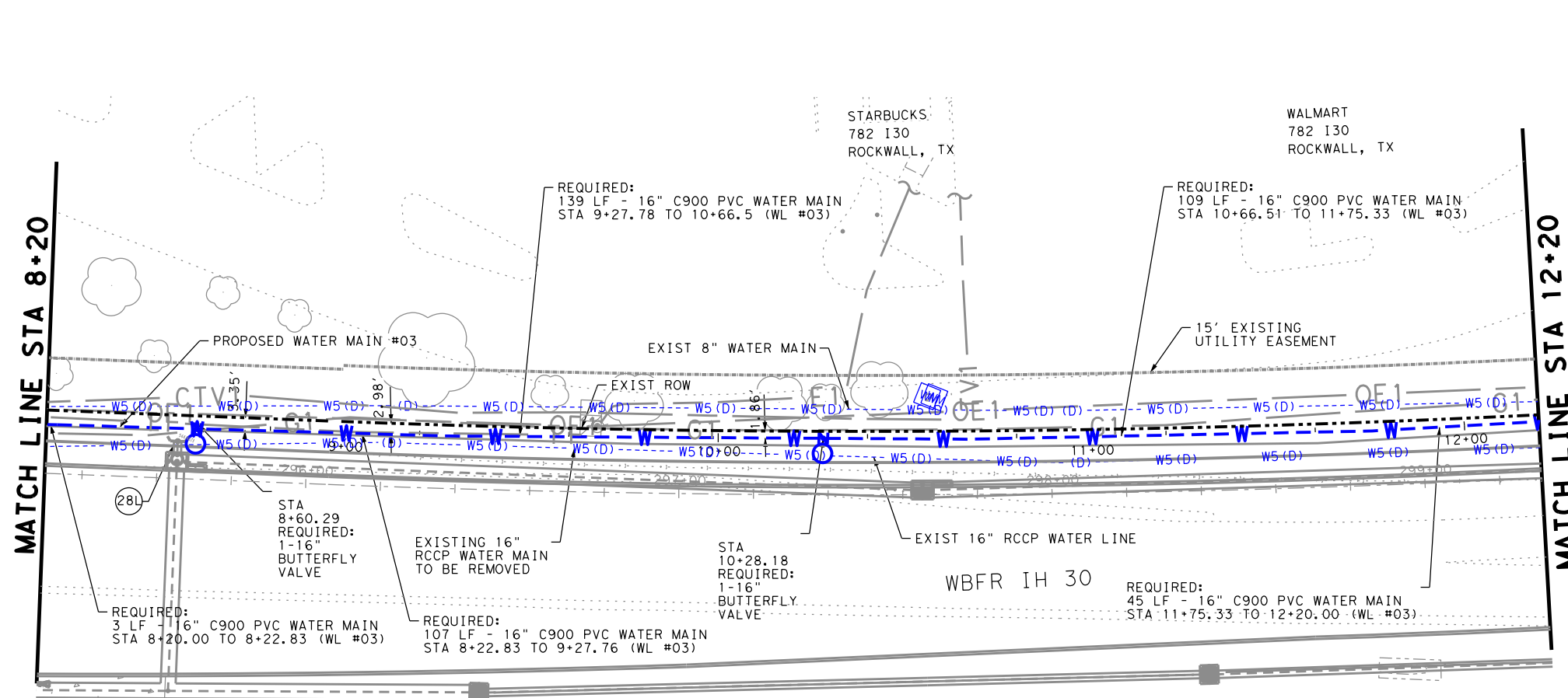
VOLKERT
 F-12679

**ROCKWALL IH 30
 WATER MAIN #03
 PLAN AND PROFILE**

SHEET 2 OF 5

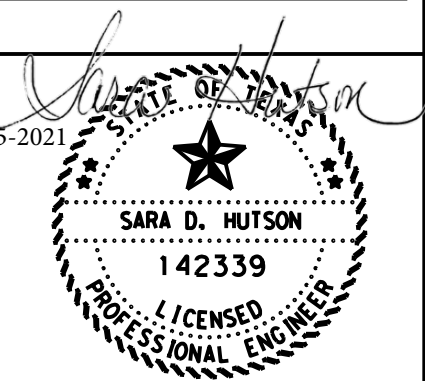
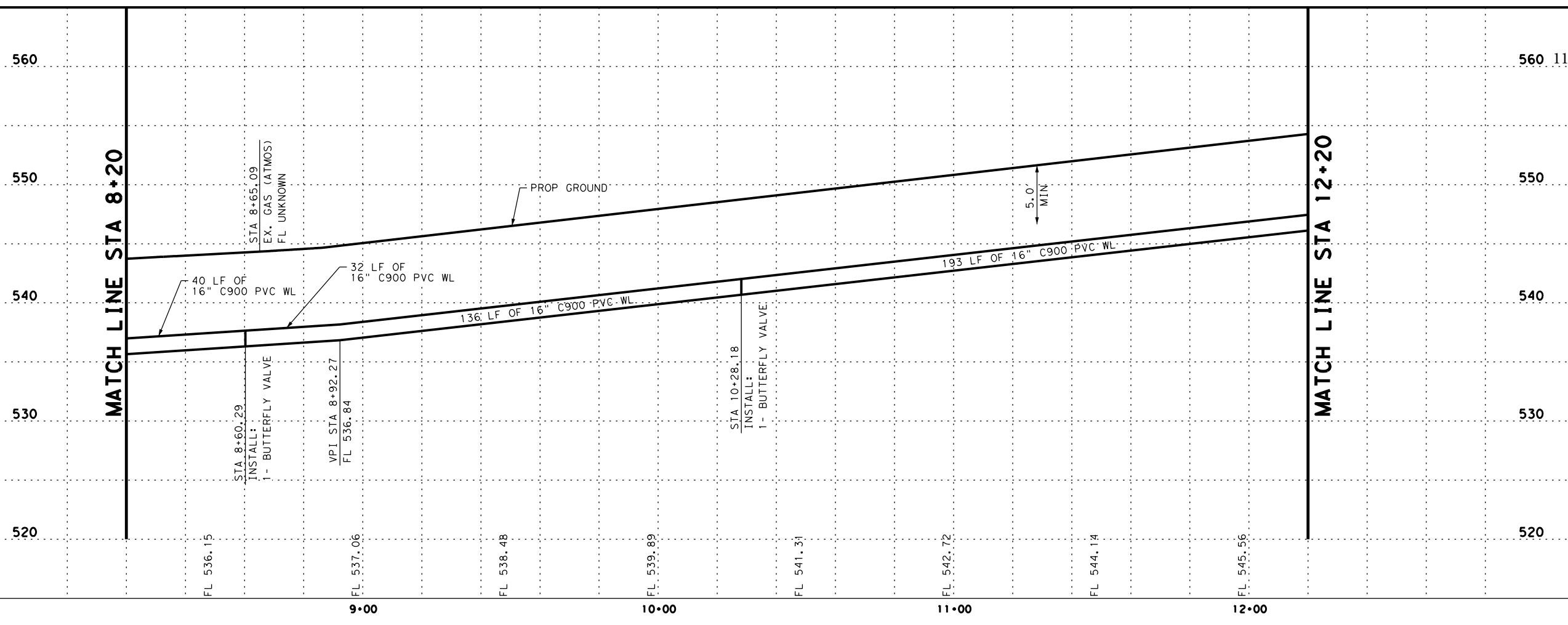
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0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	22	

DATE: SDATES STIMES
 FILE: SFILES



- NOTES:
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#	CONFLICT
28L	PROP STORM LINE WITH EXISTING WATER LINE (APPROX. 4 FT



ROCKWALL IH 30
WATER MAIN #03
PLAN AND PROFILE

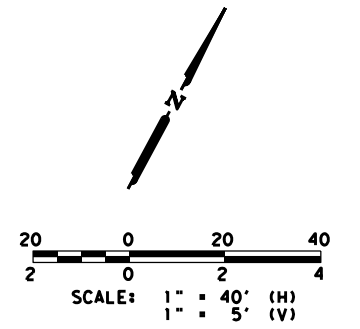
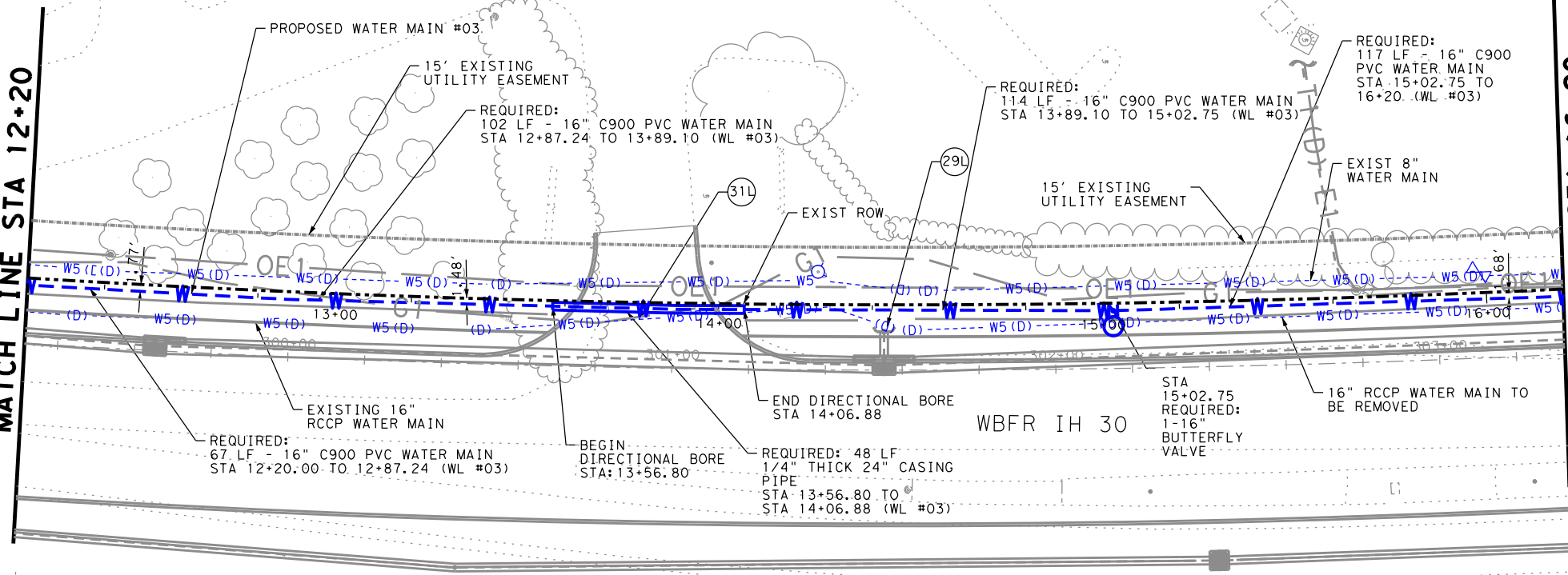
SHEET 3 OF 5

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	23	

DATE: SDATES
FILE: SFILES

MATCH LINE STA 12+20

MATCH LINE STA 16+20

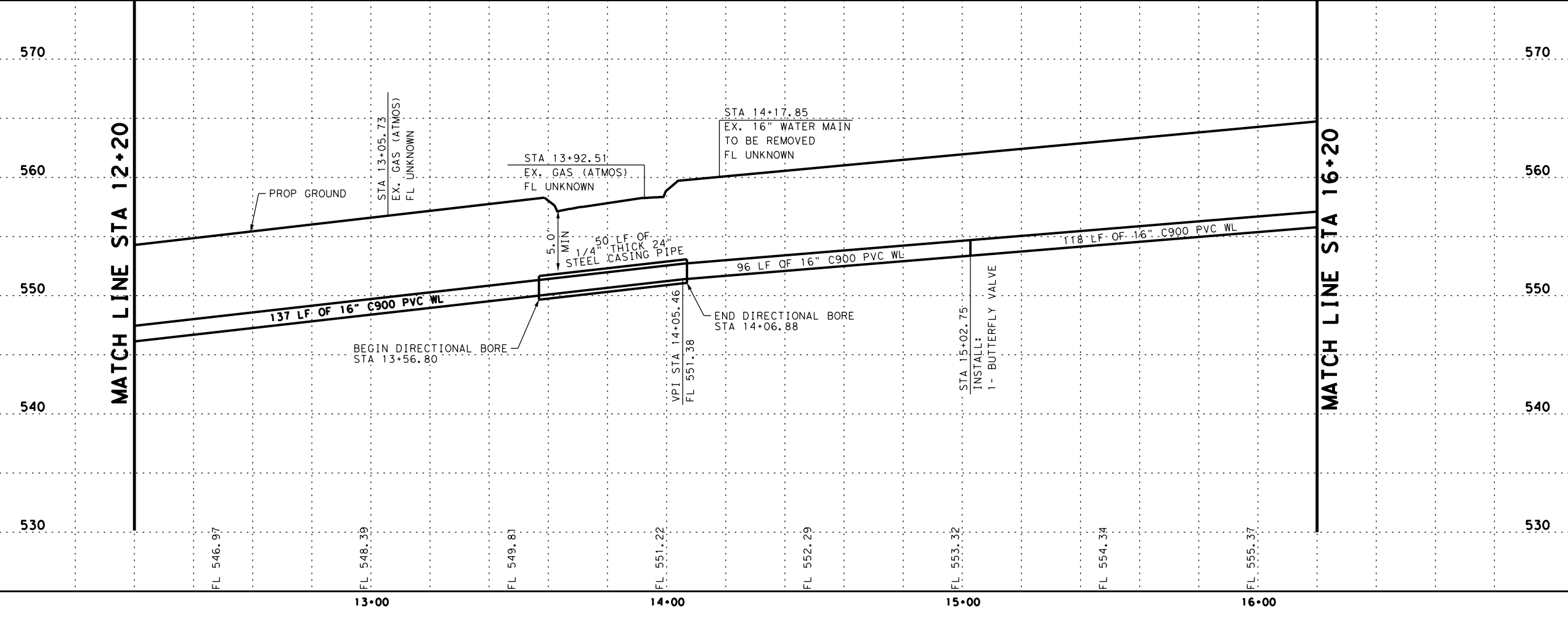


- NOTES:**
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#	CONFLICT
29L	PROP STORM LINE WITH EXISTING WATER LINE (APPROX. 4 FT
31L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP

MATCH LINE STA 12+20

MATCH LINE STA 16+20



Sara Hutson
11-5-2021

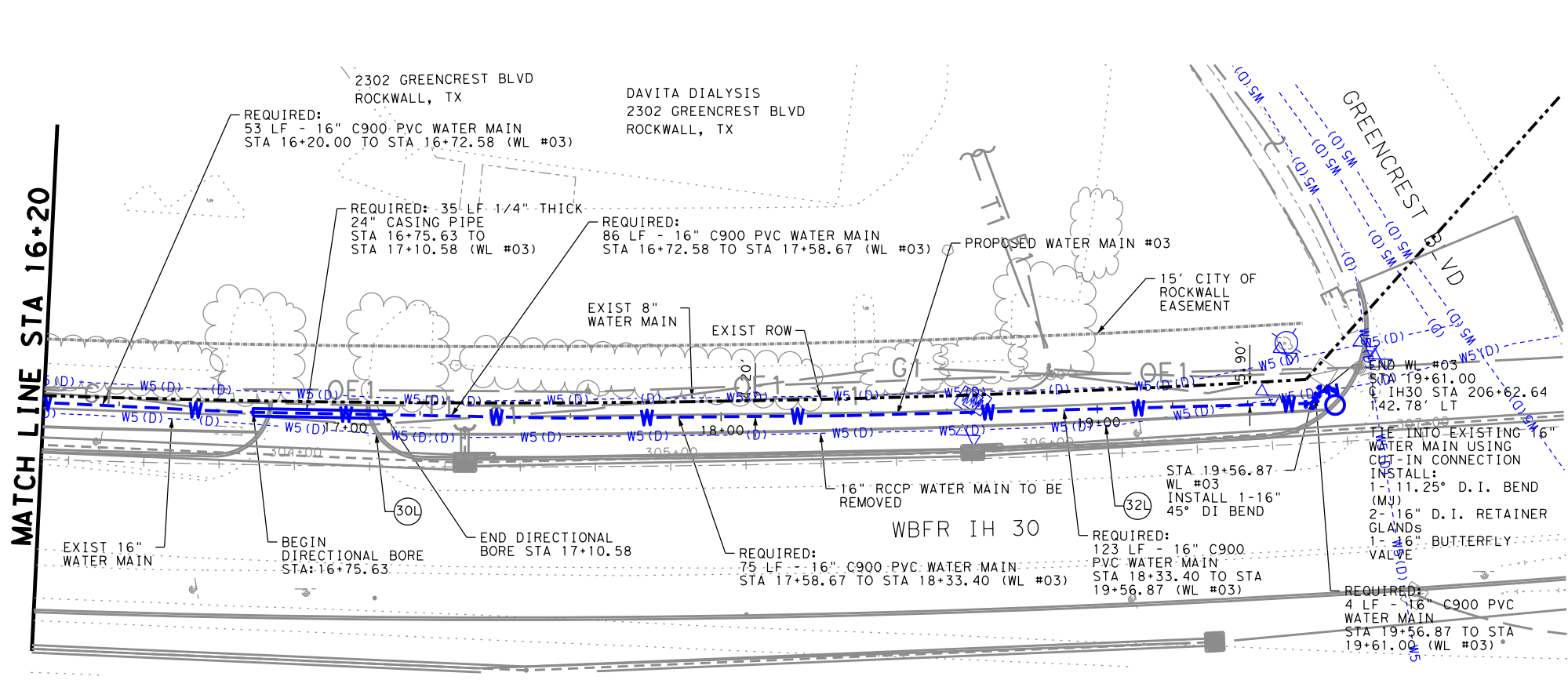


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**ROCKWALL IH 30
WATER MAIN #03
PLAN AND PROFILE**

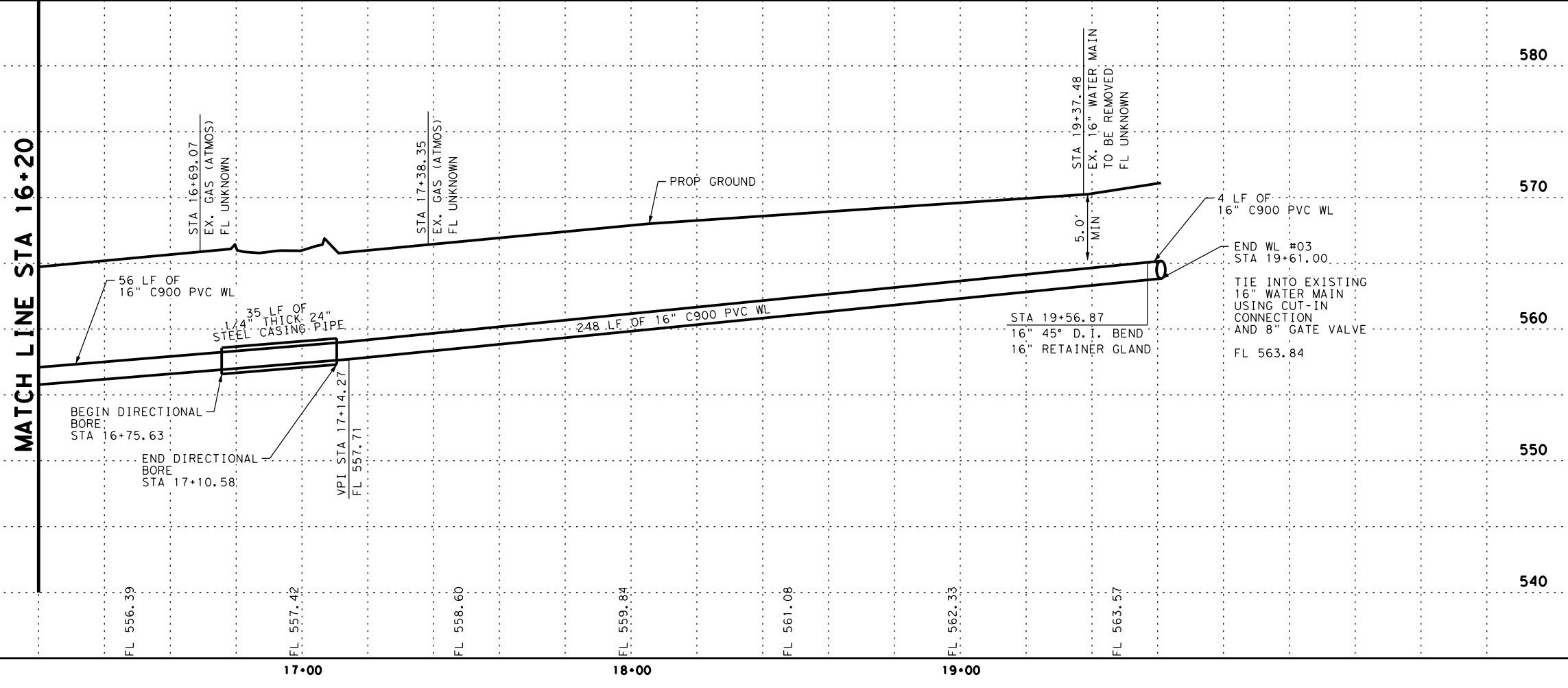
SHEET 4 OF 5			
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	24	

DATE: \$DATES\$
FILE: \$FILES\$



- NOTES:**
1. ALL WATERLINE BENDS, FITTINGS, AND VALVES TO BE RESTRAINED AND THRUST BLOCKED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION AND MAINTAIN A 2 FT MINIMUM VERTICAL CLEARANCE.
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#	CONFLICT
30L	PROP PVMT >2 FT CUT; EX WATER APPROX. 4 FT DEEP
32L	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT



11-5-2021

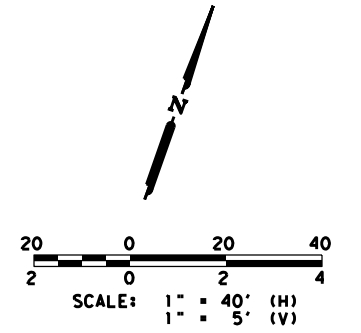
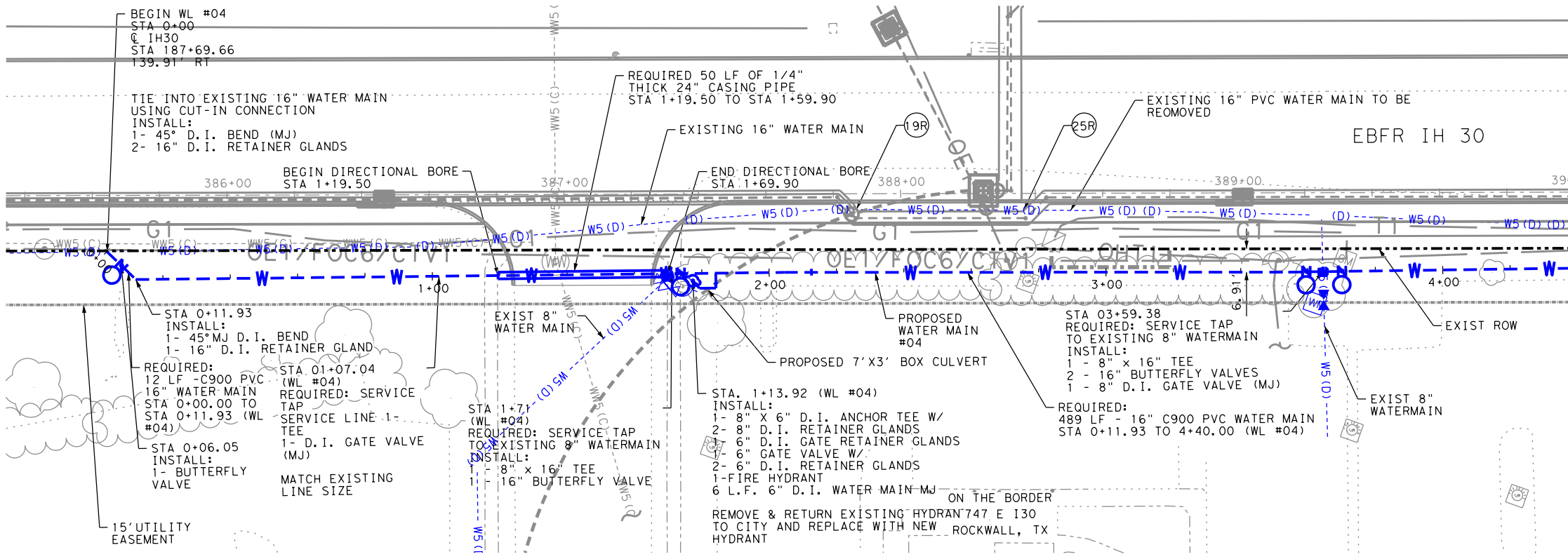
City Of Rockwall

VOLKERT
F-12679

**ROCKWALL IH 30
WATER MAIN #03
PLAN AND PROFILE**

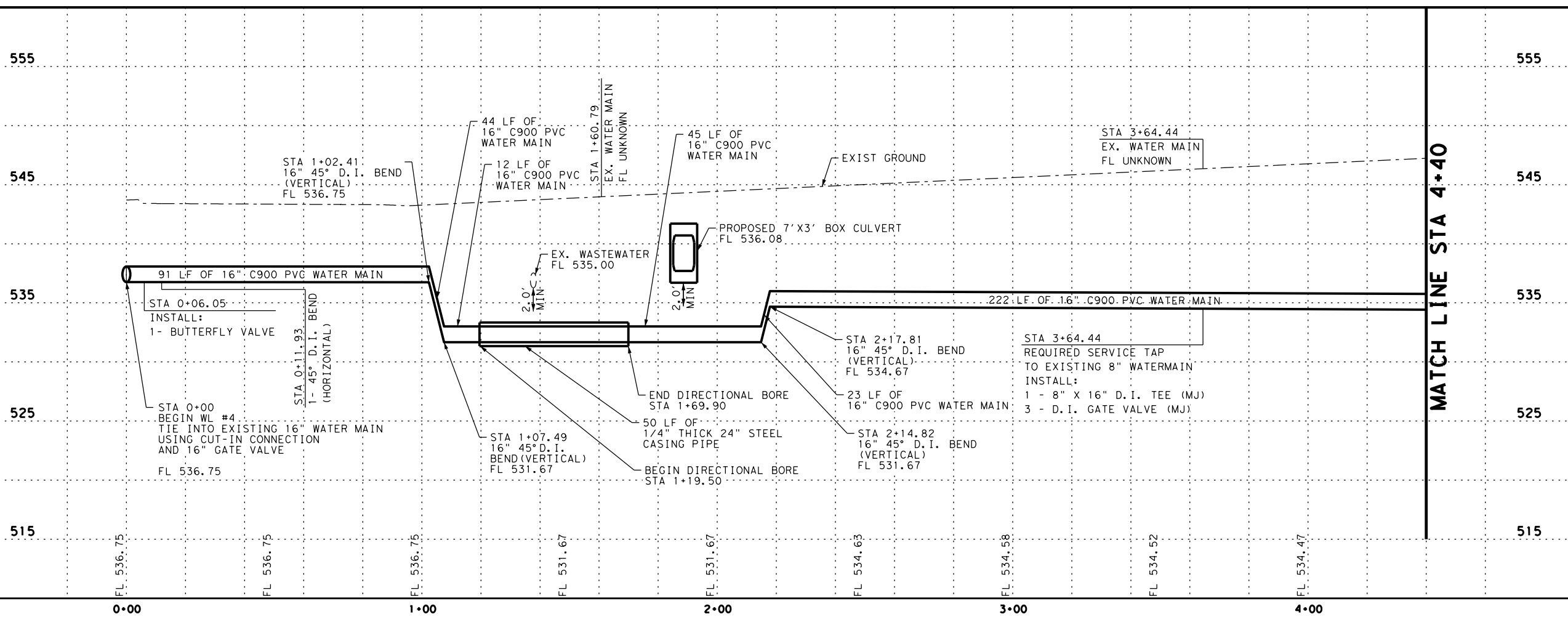
SHEET 5 OF 5			
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	25	

DATE: SDATES
FILE: SFILES



- NOTES:**
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#	CONFLICT
19R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
25R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT



11-5-2021

SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER



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**ROCKWALL IH 30
WATER MAIN #04
PLAN AND PROFILE**

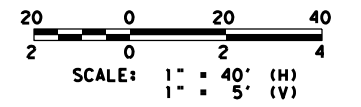
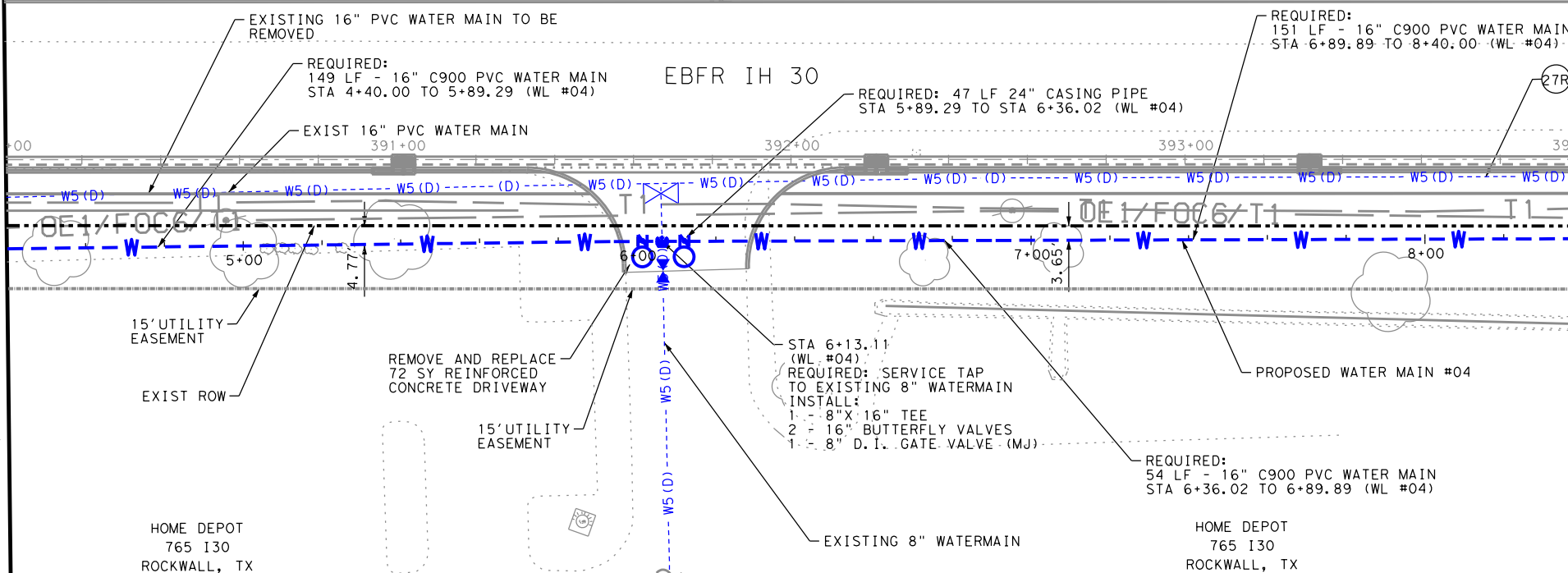
SHEET 1 OF 5

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	96	26

DATE: SDATES
FILE: SFILES

MATCH LINE STA 4+40

MATCH LINE STA 8+40

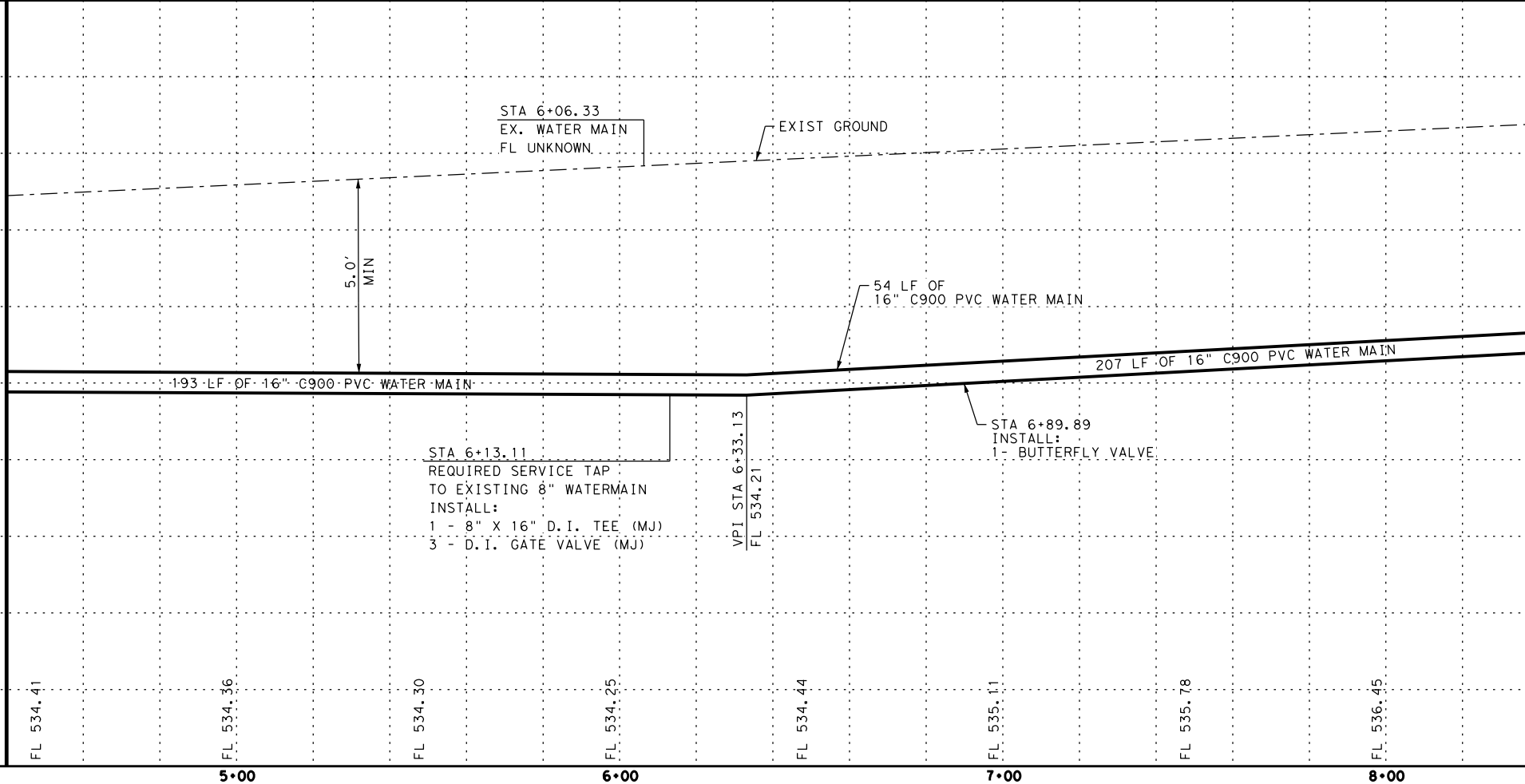


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#	CONFLICT
27R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT

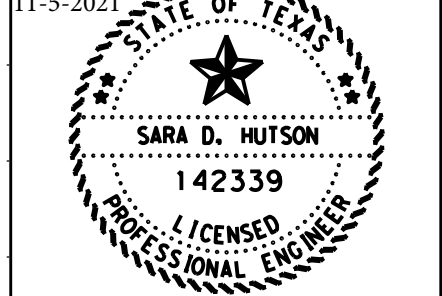
MATCH LINE STA 4+40

MATCH LINE STA 8+40



Sara Hutson

11-5-2021

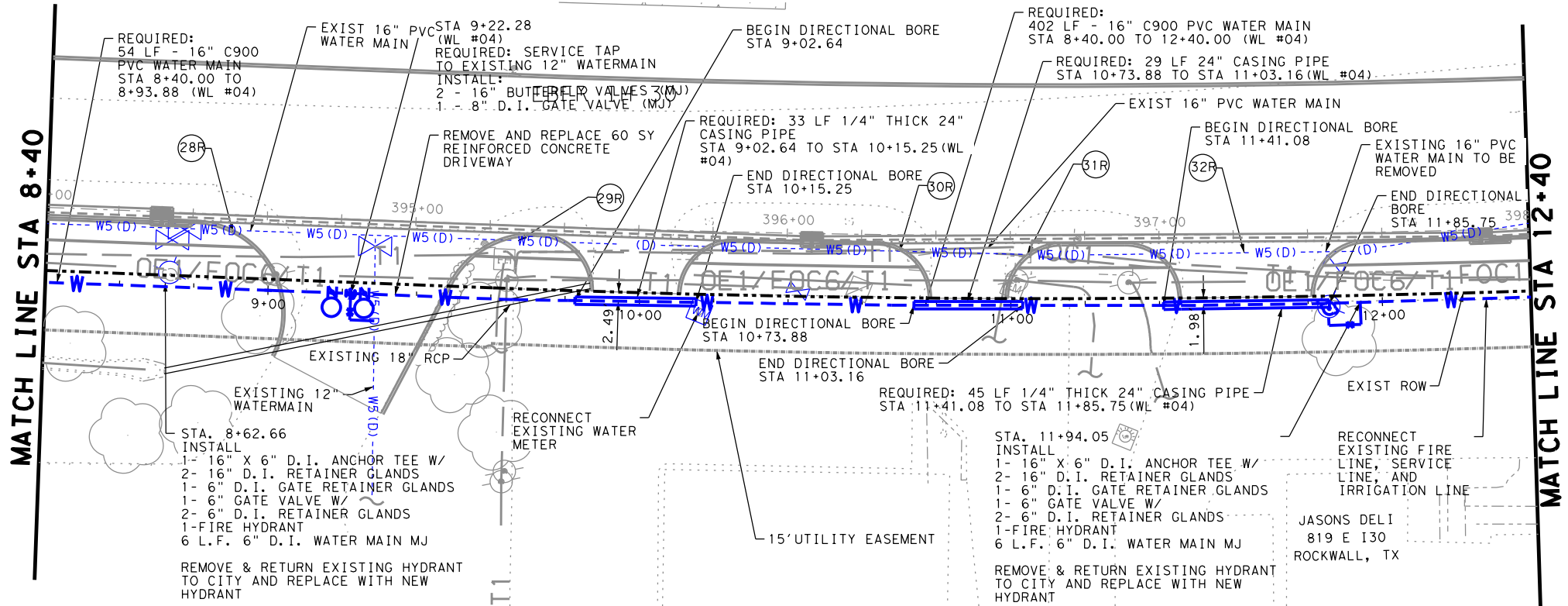
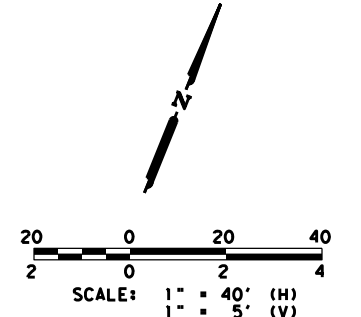


ROCKWALL IH 30
WATER MAIN #04
PLAN AND PROFILE

SHEET 2 OF 5

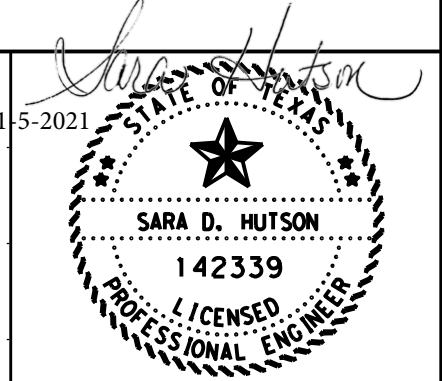
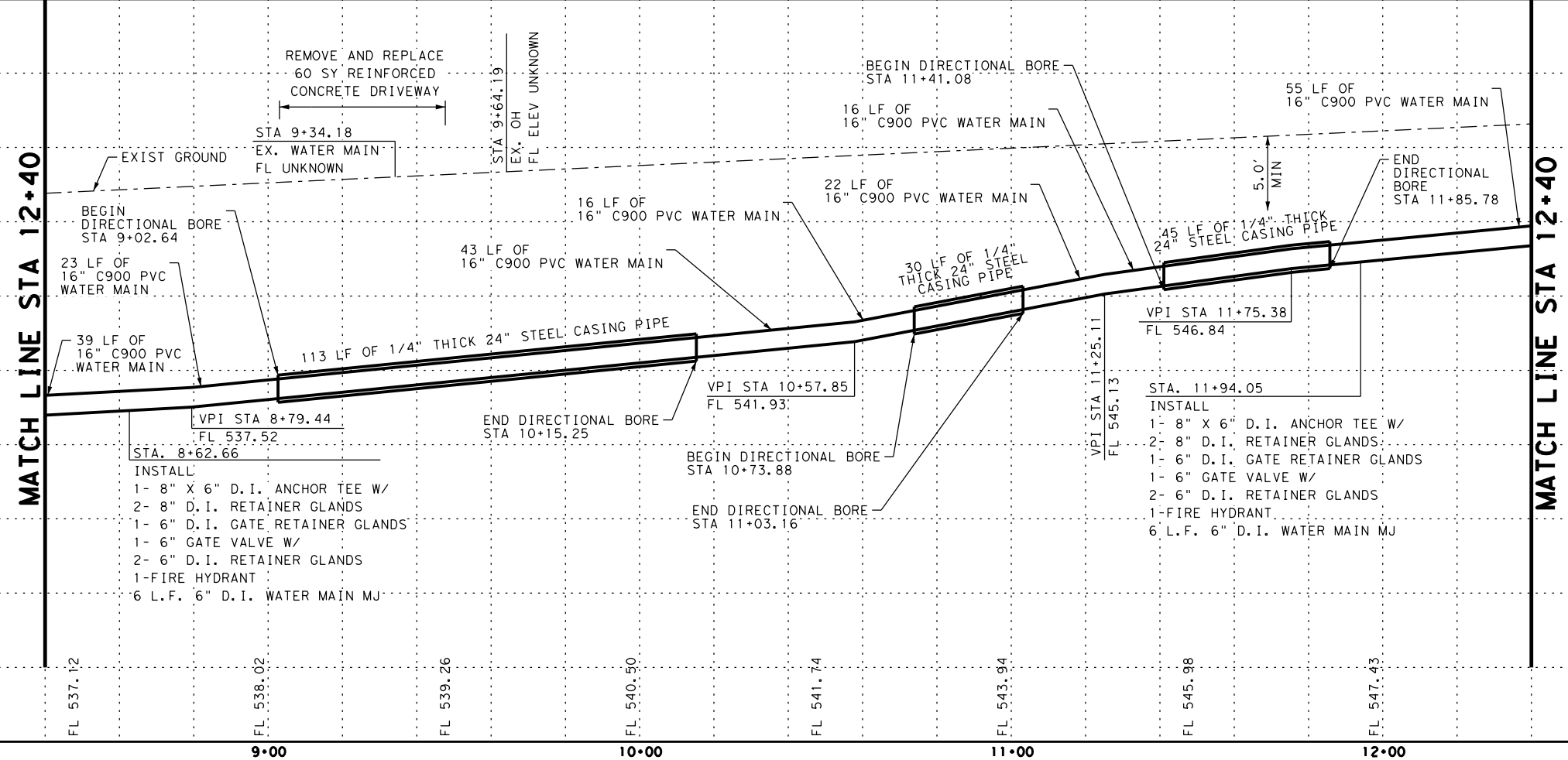
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY	SHEET NO.	
DALLAS	ROCKWALL	27	

DATE: 11-5-2021
FILE: 11-5-2021



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#	CONFLICT
28R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
29R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
30R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
31R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
32R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT

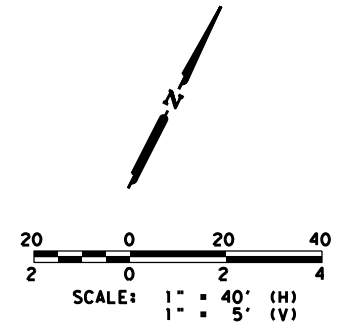


ROCKWALL IH 30 WATER MAIN #04 PLAN AND PROFILE

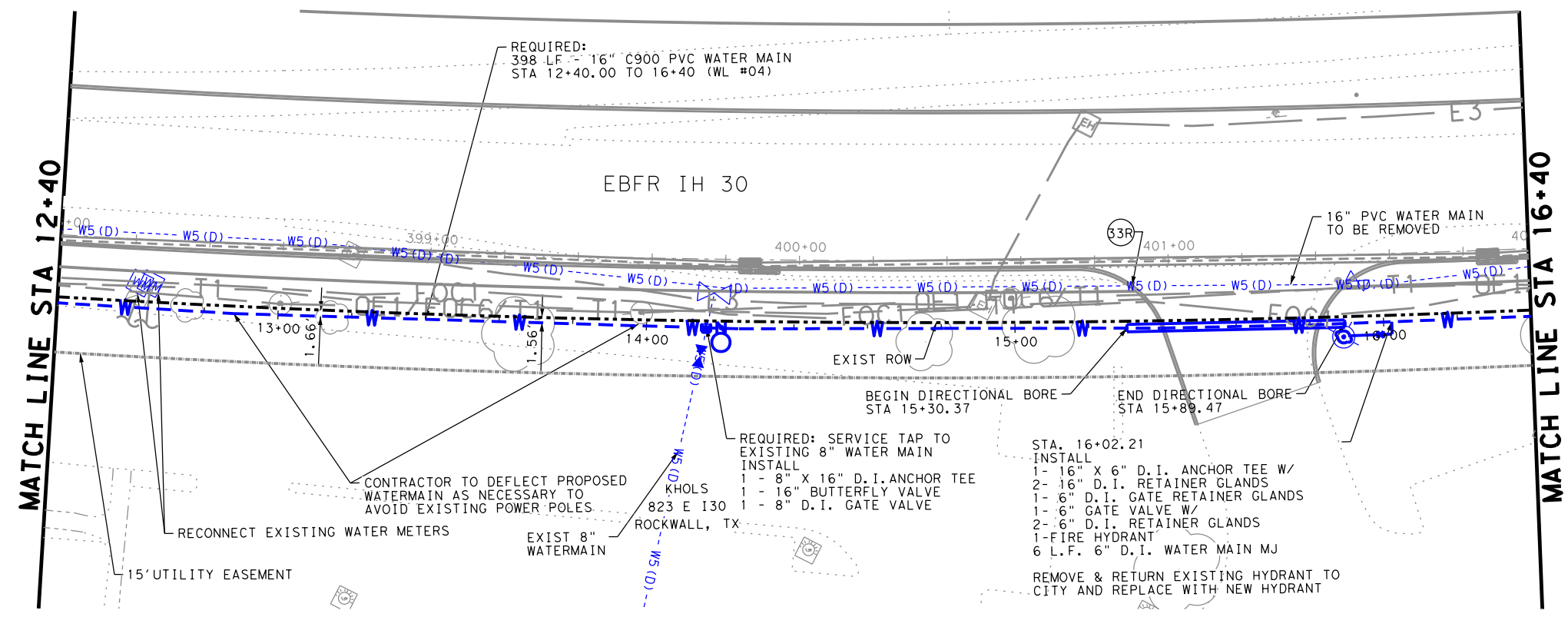
F-12679

SHEET 3 OF 5			
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		98	28
		ROCKWALL	

DATE: 04/25/2021
FILE: 12-00-0009-12-220-28

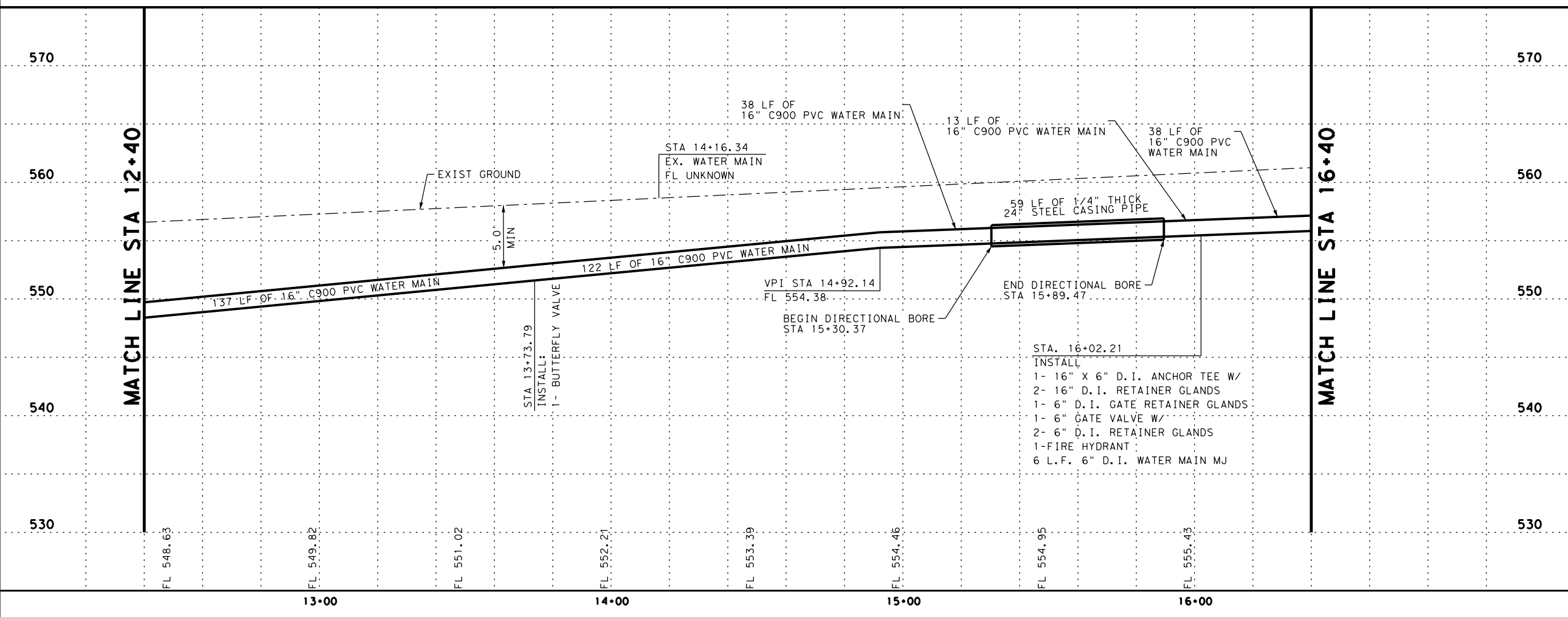


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#	CONFLICT
33R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT

DATE: **SDATES** STIMES
FILE: **SFILES**



Sara Hutson

11-5-2021

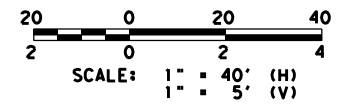
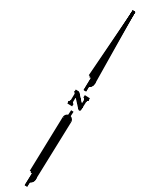
SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER



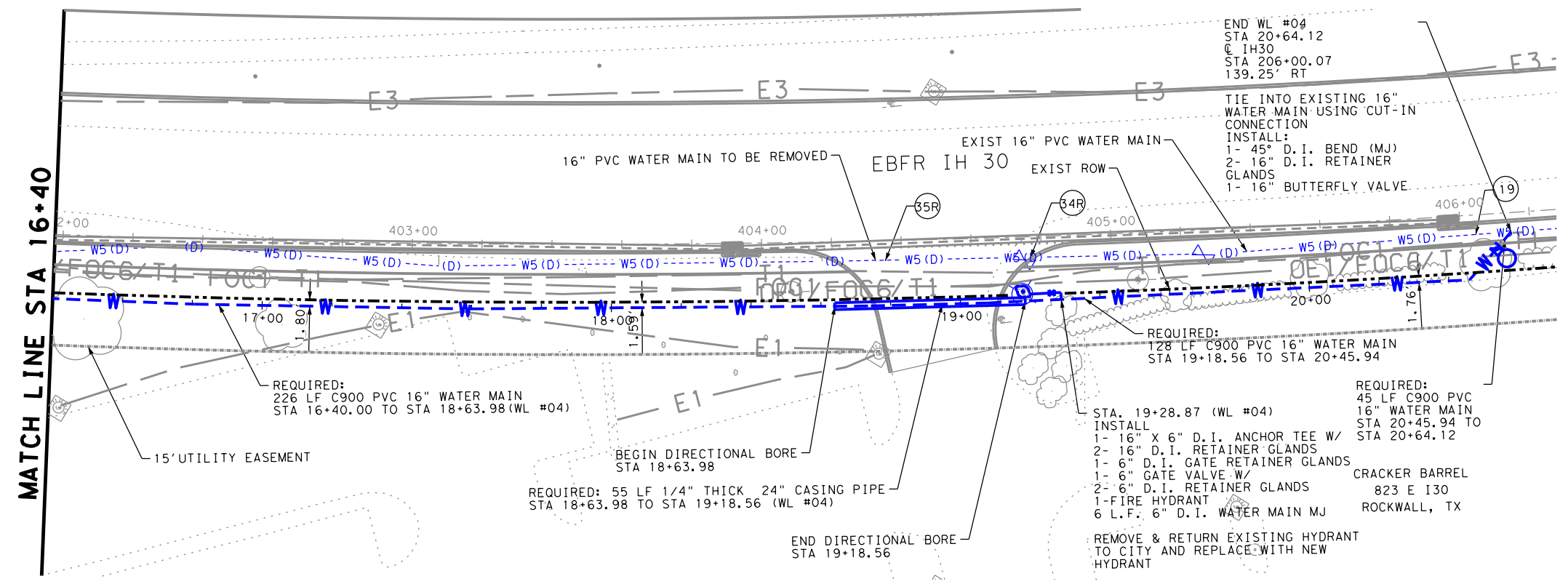
**ROCKWALL IH 30
WATER MAIN #04
PLAN AND PROFILE**

SHEET 4 OF 5

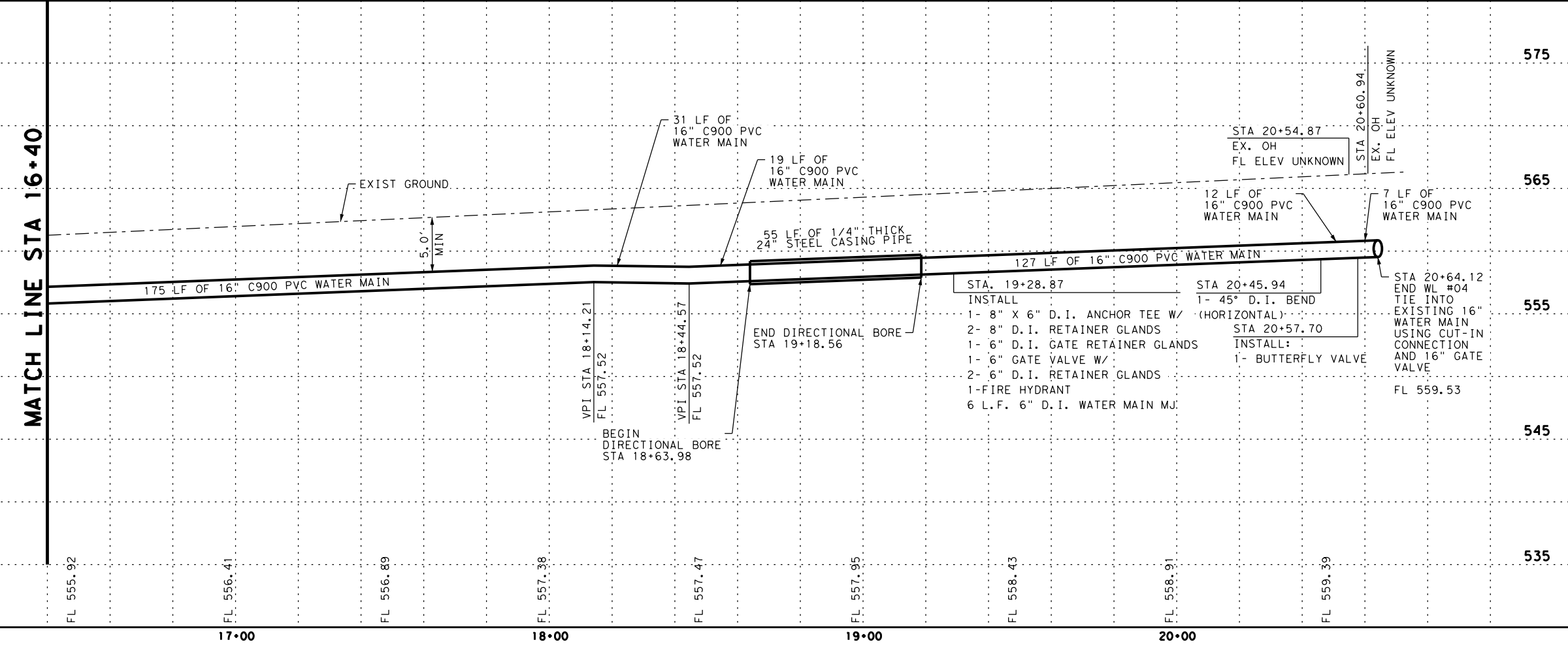
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST		COUNT	SHEET NO.
DALLAS		99	29
		DIST	COUNT
		ROCKWALL	29



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#	CONFLICT
34R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT
35R	EXISTING WATER MAIN UNDER PROPOSED PAVEMENT



Sara Hutson
 11-5-2021
 STATE OF TEXAS
 SARA D. HUTSON
 142339
 LICENSED PROFESSIONAL ENGINEER



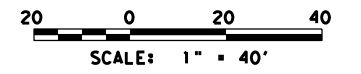
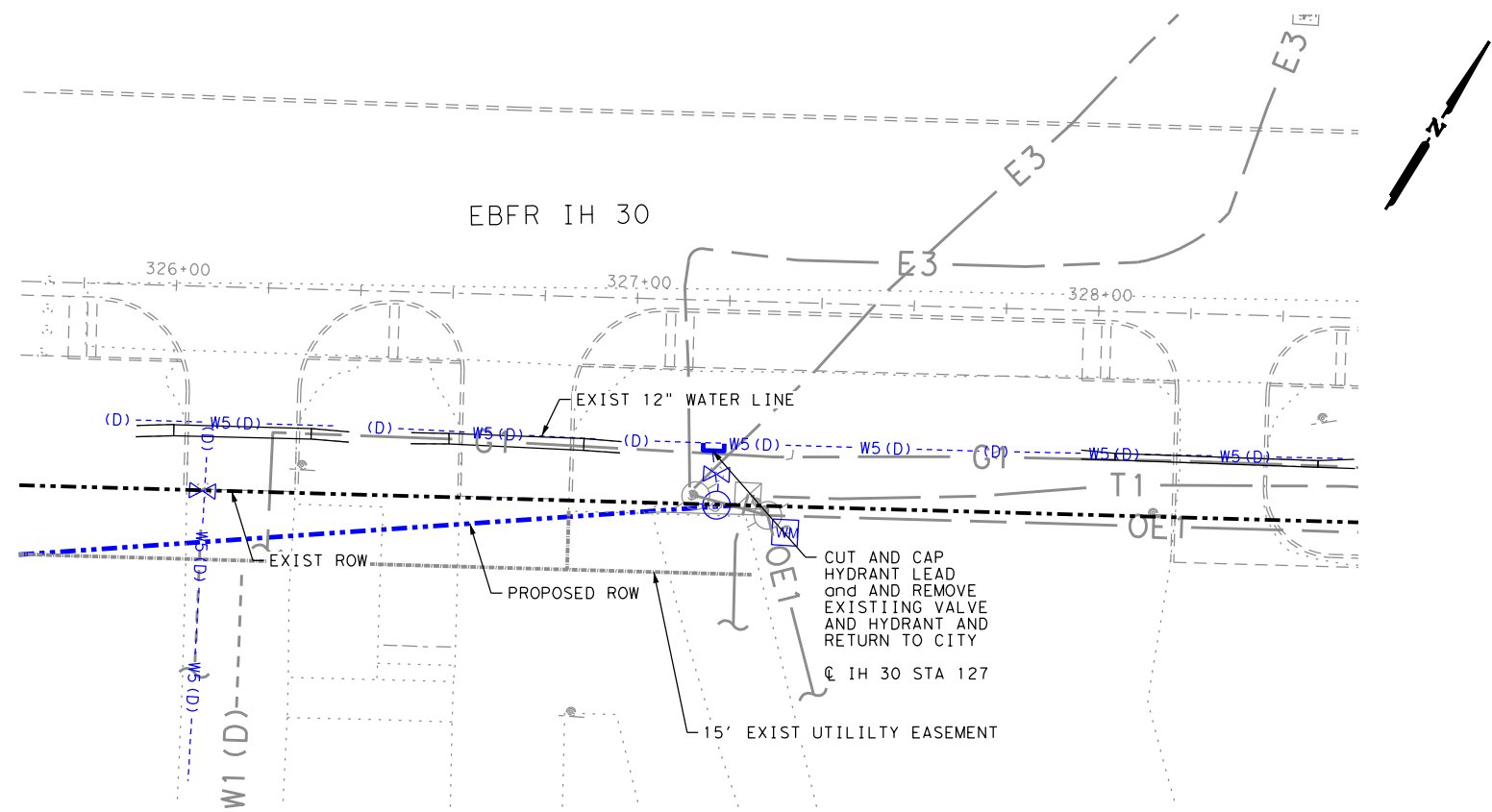
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 F-12679

**ROCKWALL IH 30
 WATER MAIN #04
 PLAN AND PROFILE**

SHEET 5 OF 5

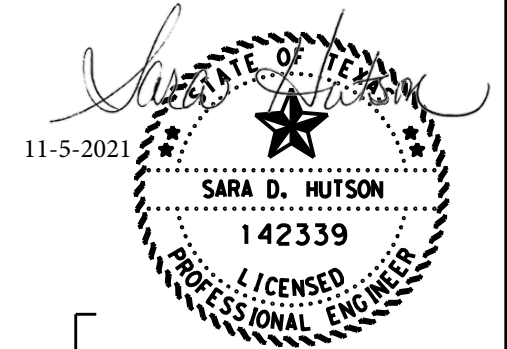
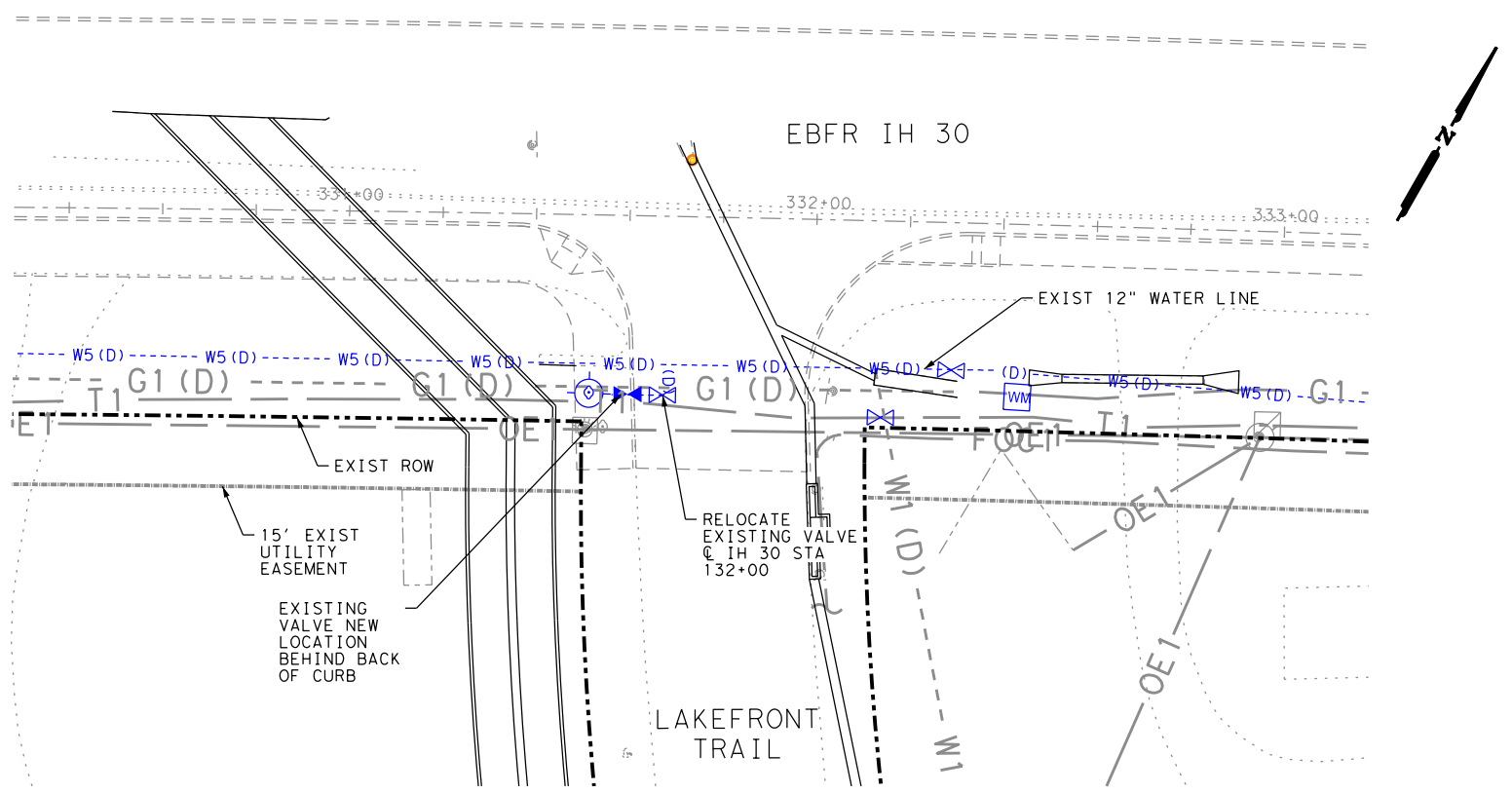
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 100		SHEET NO.
DALLAS	ROCKWALL		30

DATE: SDATES
 FILE: SFILES



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1. ALL WATERLINE BENDS, FITTINGS, AND VALVES TO BE RESTRAINED AND THRUST BLOCKED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION AND MAINTAIN A 2 FT MINIMUM VERTICAL CLEARANCE.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.
 5. ALL WATER AND WASTEWATER MAIN TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES UNLESS OTHERWISE NOTED. ALL BORING OF WATER AND WASTEWATER LINE SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.

#	CONFLICT
26	WATER METER, VALVE AND FIRE HYDRANT IN 5 FT FILL LOCATION
28	EXISTING VALVE IN PAVEMENT IN FILL LOCATION



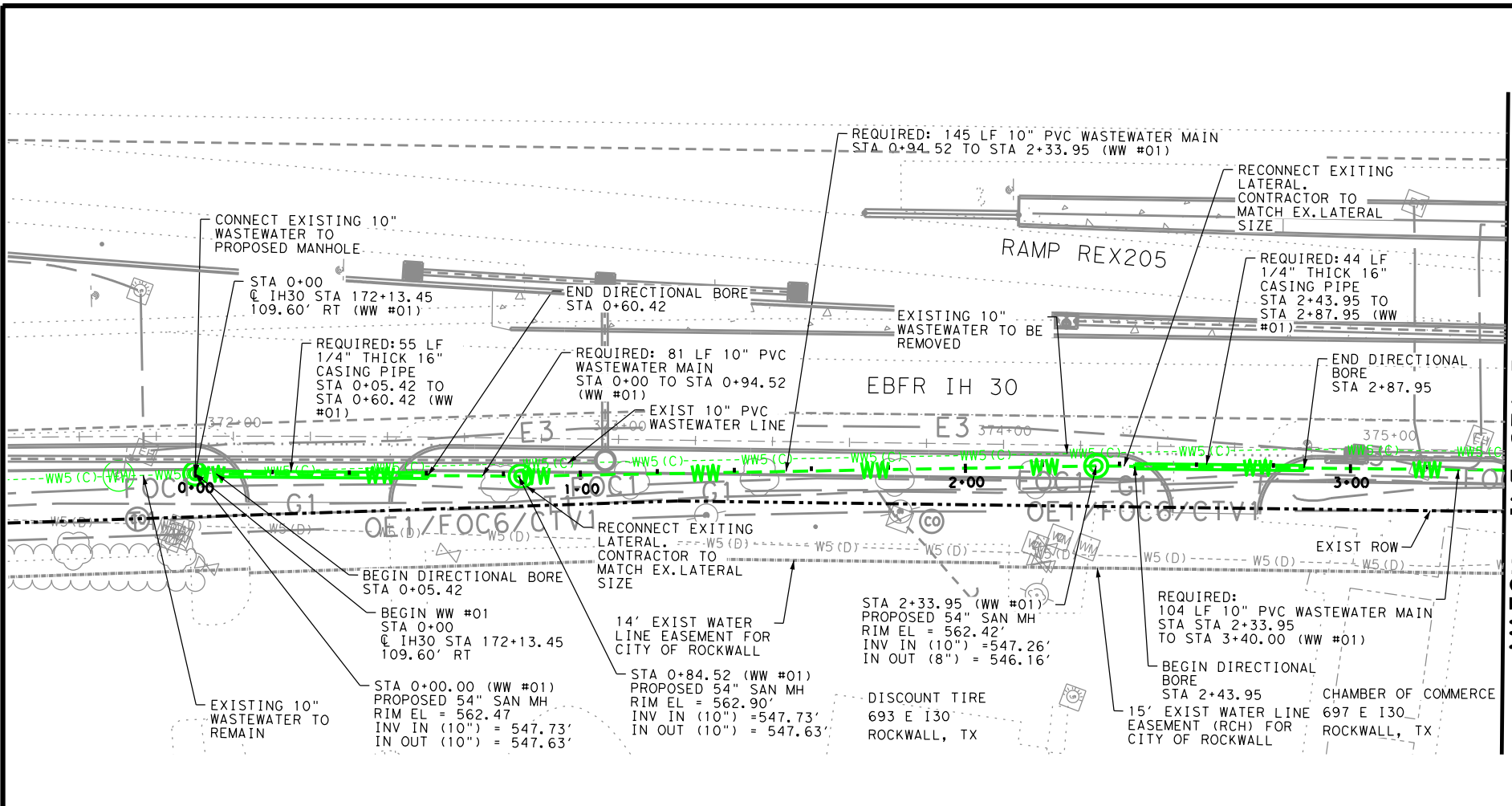
F-12679

**ROCKWALL IH 30
WATER MAIN #05
PLAN**

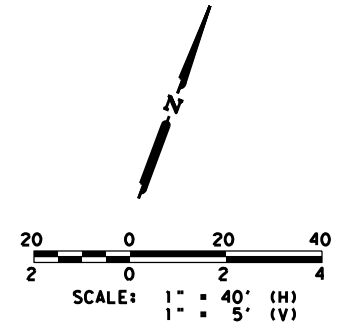
SHEET 1 OF 1

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 101		SHEET NO.
DALLAS	ROCKWALL		31

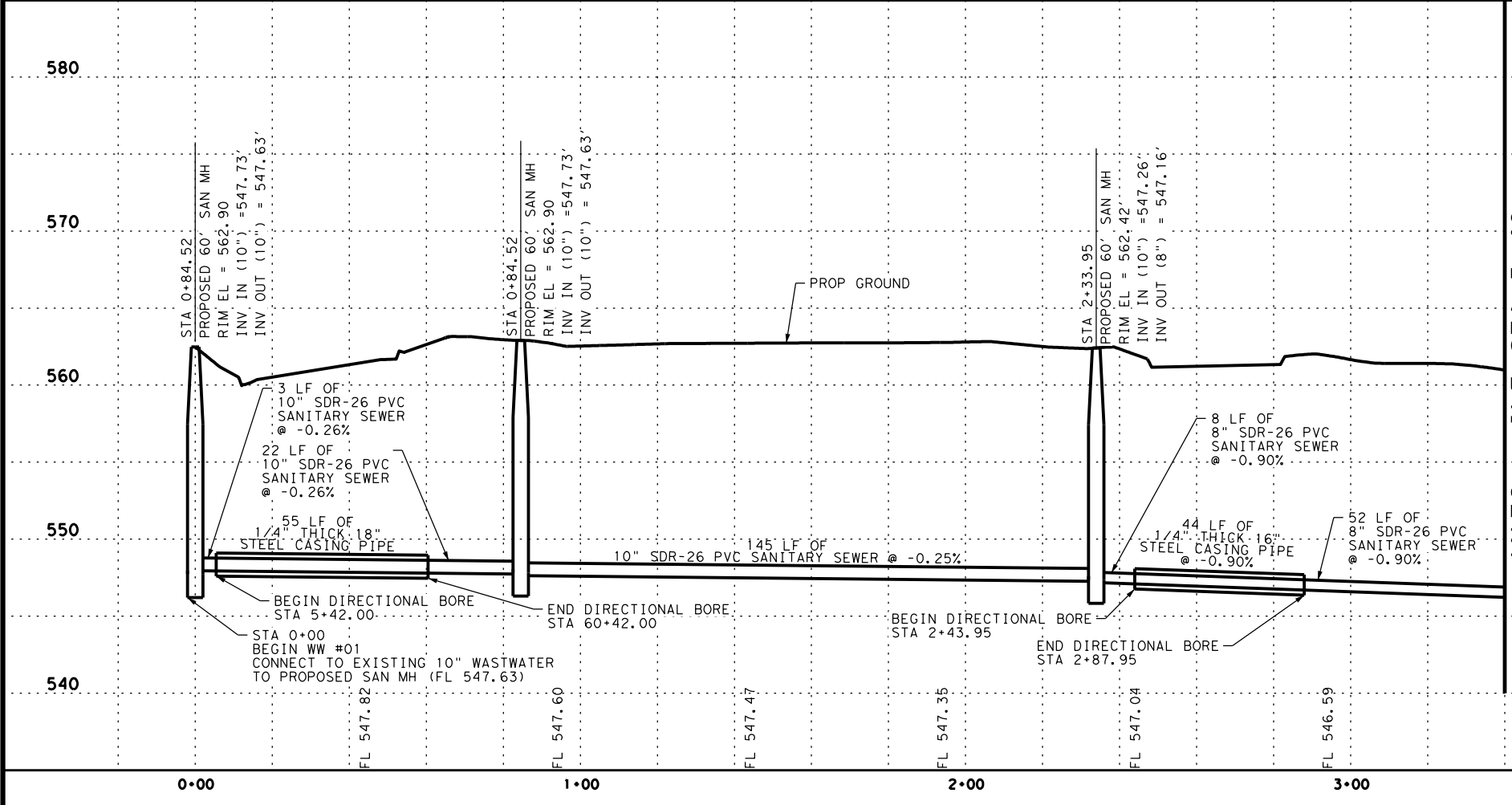
DATE: SDATES
FILE: SFILES



MATCH LINE STA 3+40



- NOTES:**
1. ALL WATER AND WASTEWATER MAINS TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES. ALL BORING OF WATER AND WASTEWATER LINES SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.



MATCH LINE STA 3+40

11-5-2021

SARA D. HUTSON
142339
LICENSED PROFESSIONAL ENGINEER



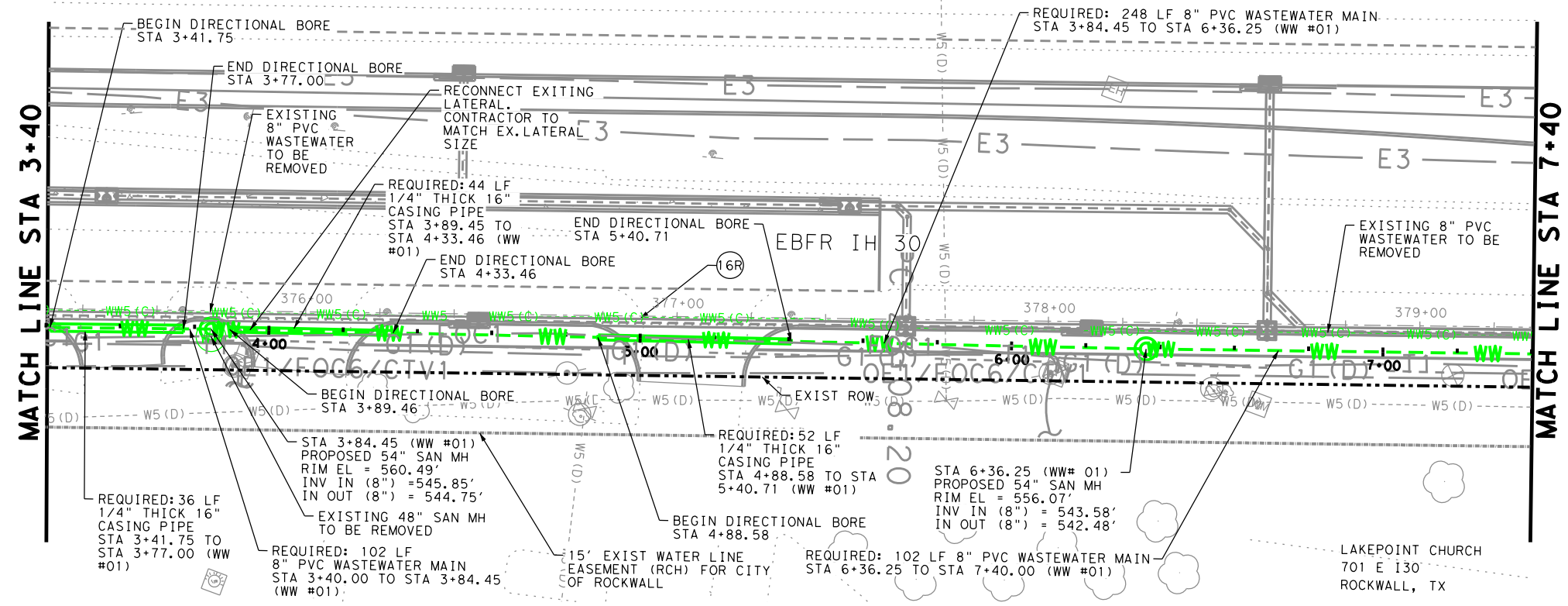
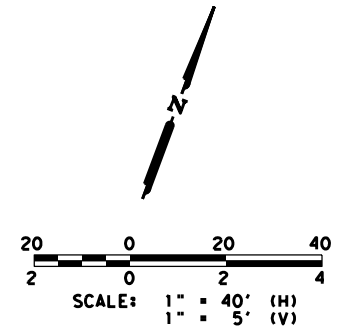
VOLKERT
F-12679

ROCKWALL IH 30 WASTEWATER #01 PLAN AND PROFILE

SHEET 1 OF 3

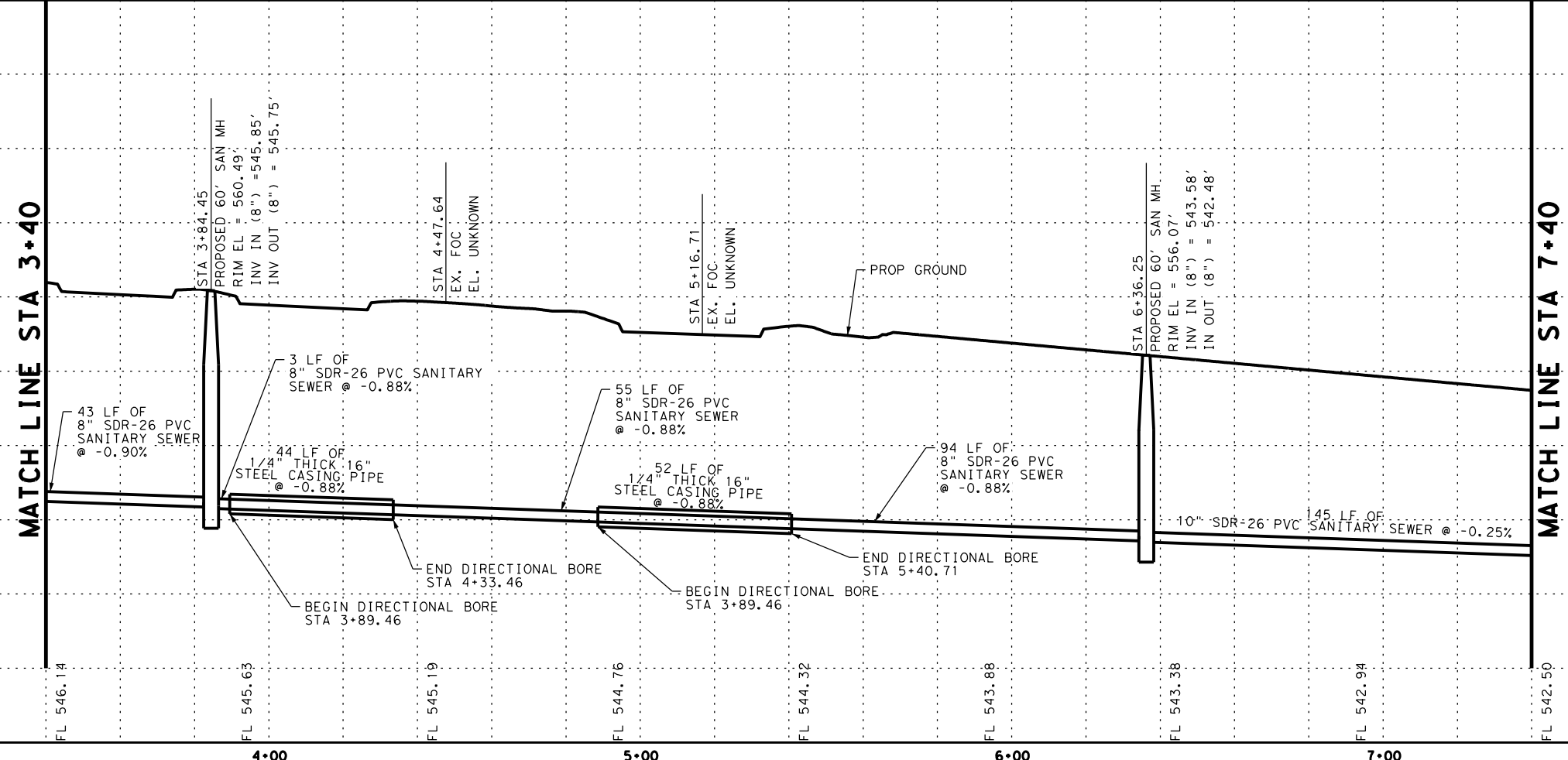
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 102		SHEET NO.
DALLAS	ROCKWALL		32

DATE: SDATES STIMES
FILE: SFILES



- NOTES:**
1. ALL WATER AND WASTEWATER MAINS TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES. ALL BORING OF WATER AND WASTEWATER LINES SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.

#	CONFLICT
16	EXISTING WASTEWATER UNDER PROPOSED PAVEMENT



Sara Hutson
 11-5-2021
 STATE OF TEXAS
 SARA D. HUTSON
 142339
 LICENSED PROFESSIONAL ENGINEER



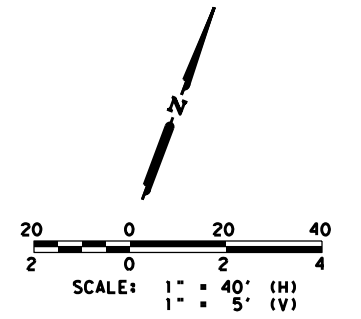
VOLKERT
 F-12679

**ROCKWALL IH 30
 WASTEWATER #01
 PLAN AND PROFILE**

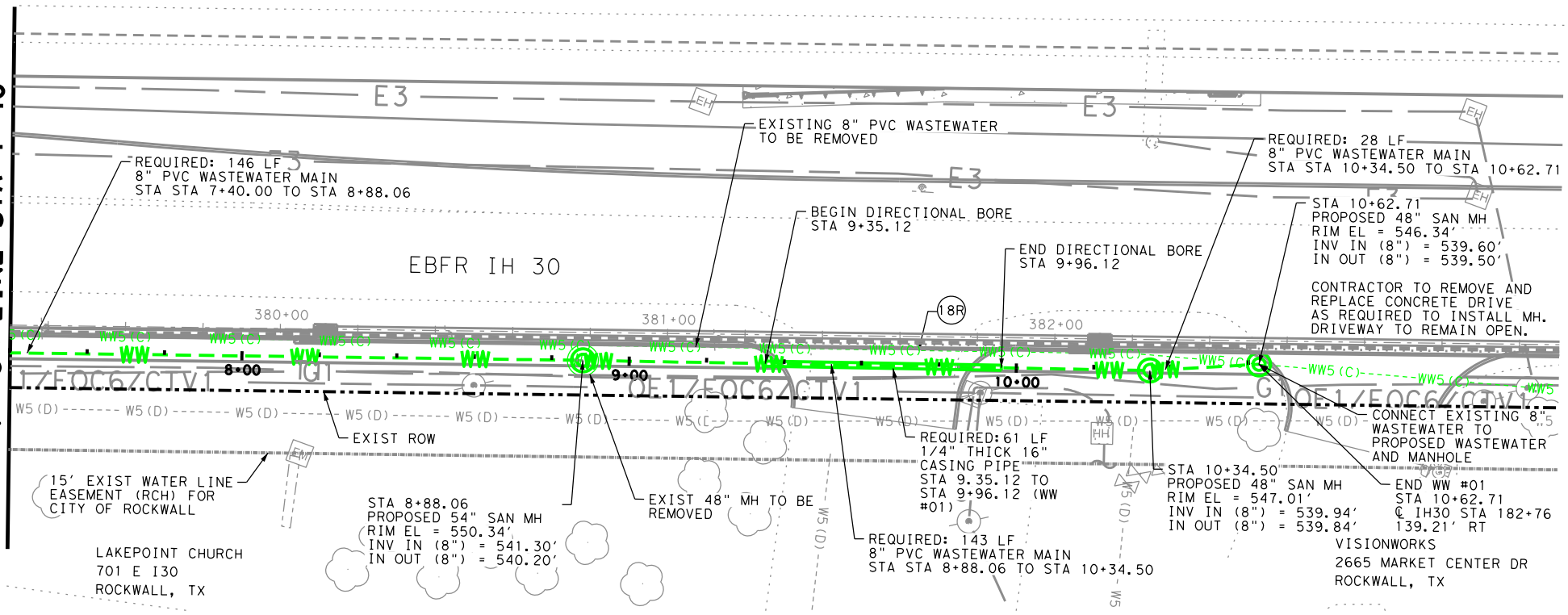
SHEET 2 OF 3

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COM 103		SHEET NO.
DALLAS	ROCKWALL		33

DATE: SDATES STIMES
 FILE: SFILES



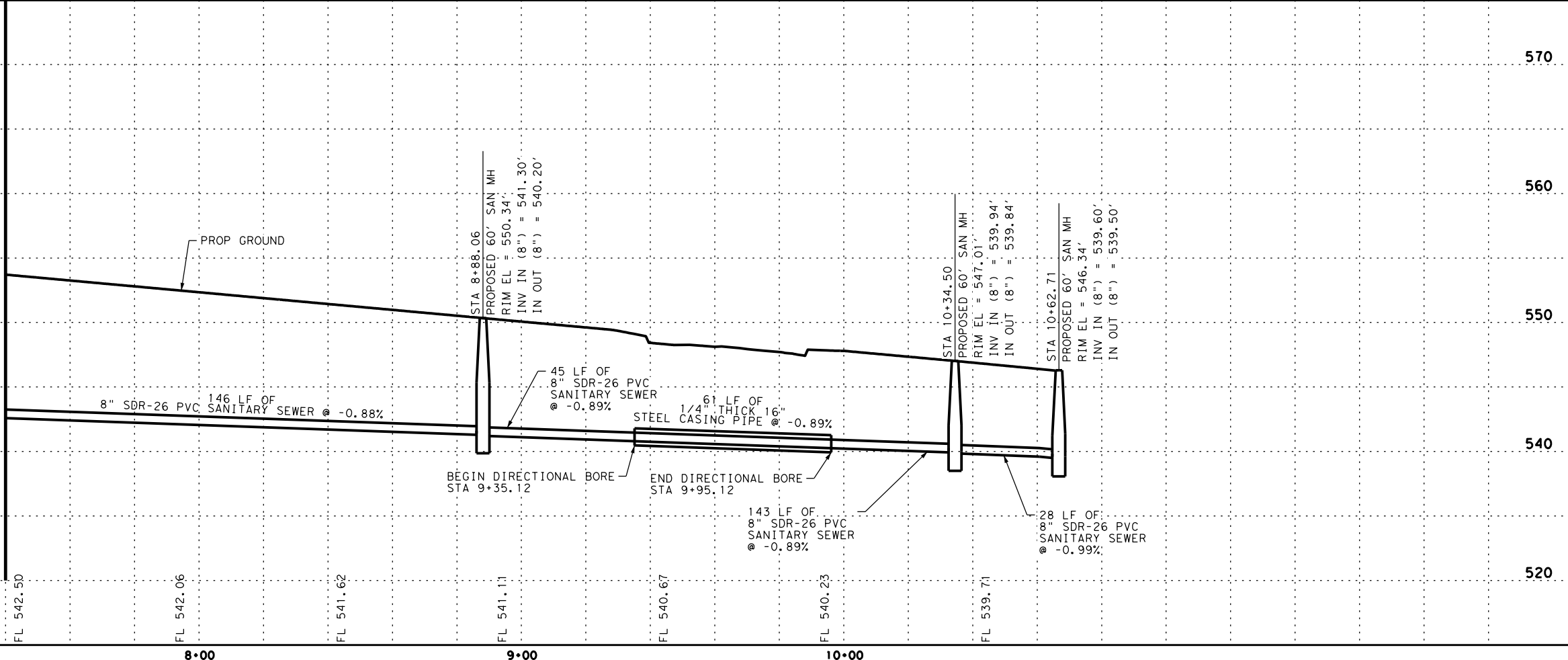
MATCH LINE STA 7+40



- NOTES:**
1. ALL WATER AND WASTEWATER MAINS TO BE INSTALLED IN STEEL CASING UNDER EXISTING ROADWAYS AND DRIVES. ALL BORING OF WATER AND WASTEWATER LINES SHALL BE DRY BORE METHODS. NO WET BORES WILL BE ALLOWED.
 2. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
 3. ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.
 4. ABANDONED WATER LINES TO REMAIN IN PLACE SHALL BE CUT AND PLUGGED AND ALL VOID SPACES WITHIN THE ABANDONED LINE SHALL BE FILLED WITH GROUT, FLOWABLE FILL OR AN EXPANDABLE PERMANENT FOAM PRODUCT.

#	CONFLICT
18	EXISTING WASTEWATER UNDER PROPOSED PAVEMENT

MATCH LINE STA 7+40



Sara Hutson

11-5-2021



VOLKERT

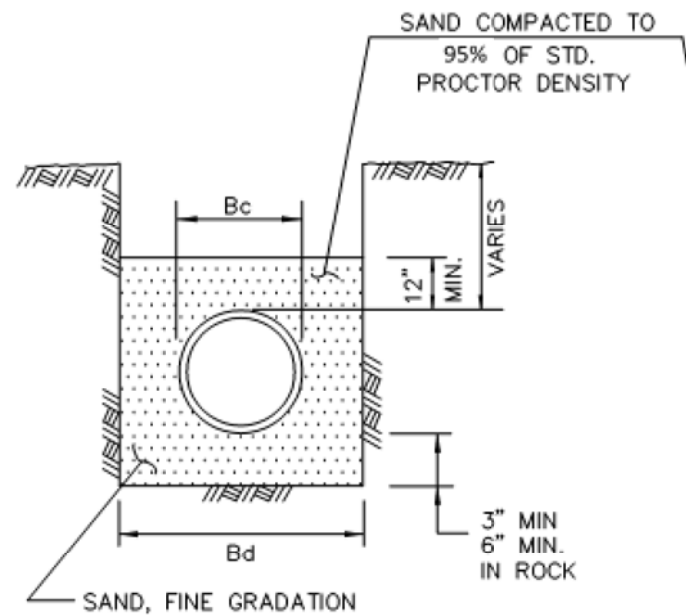
F-12679

**ROCKWALL IH 30
WASTEWATER #01
PLAN AND PROFILE**

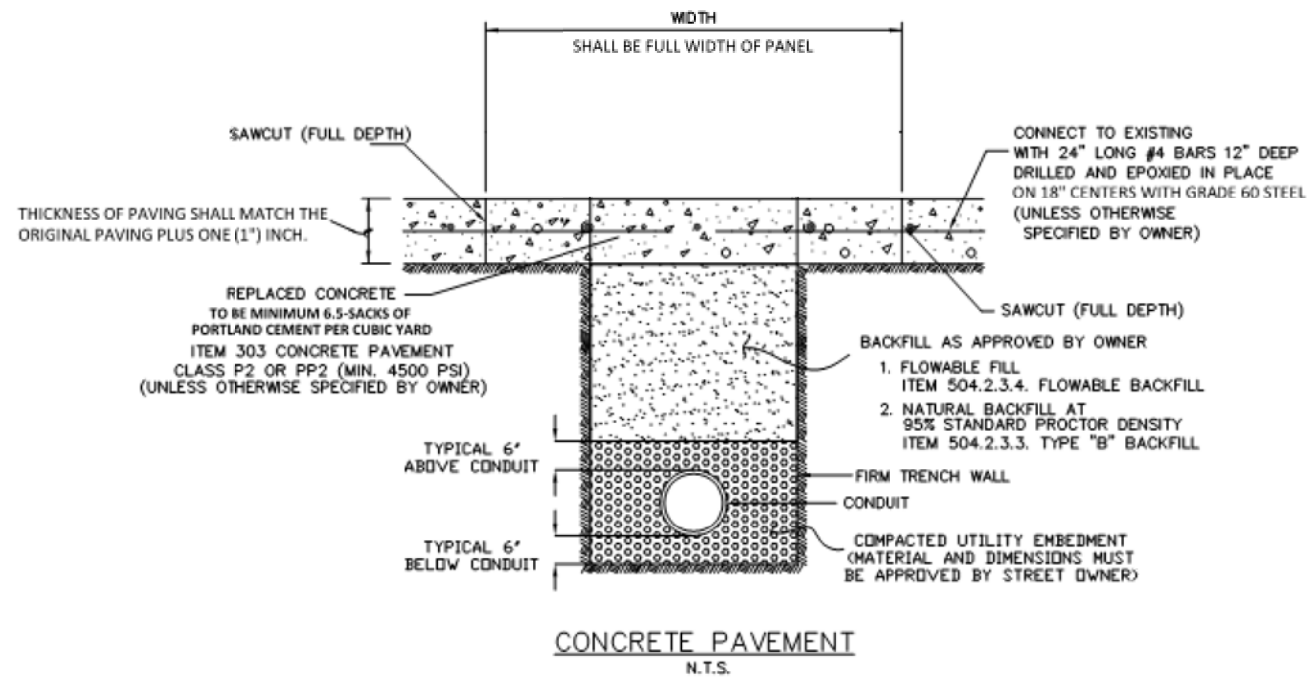
SHEET 3 OF 3

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 104		SHEET NO.
DALLAS	ROCKWALL		34

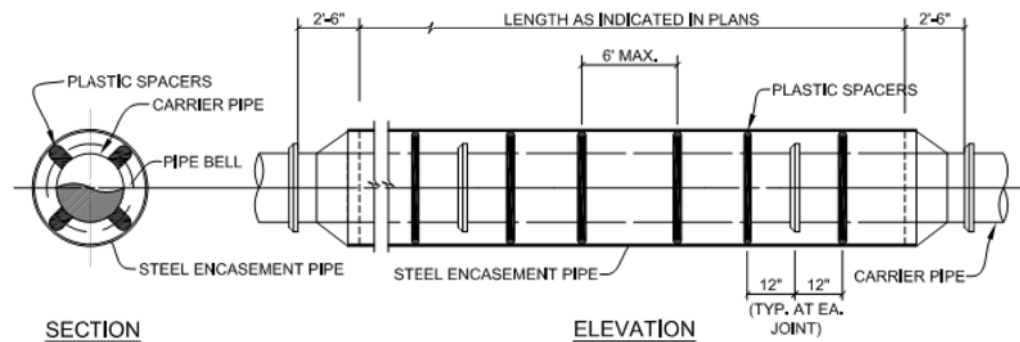
DATE: SDATES
FILE: SFILES



**WATERLINE
EMBEDMENT
R-3030
CLASS "B-3"**



**PAVEMENT CUT AND REPAIR
R-3070A**

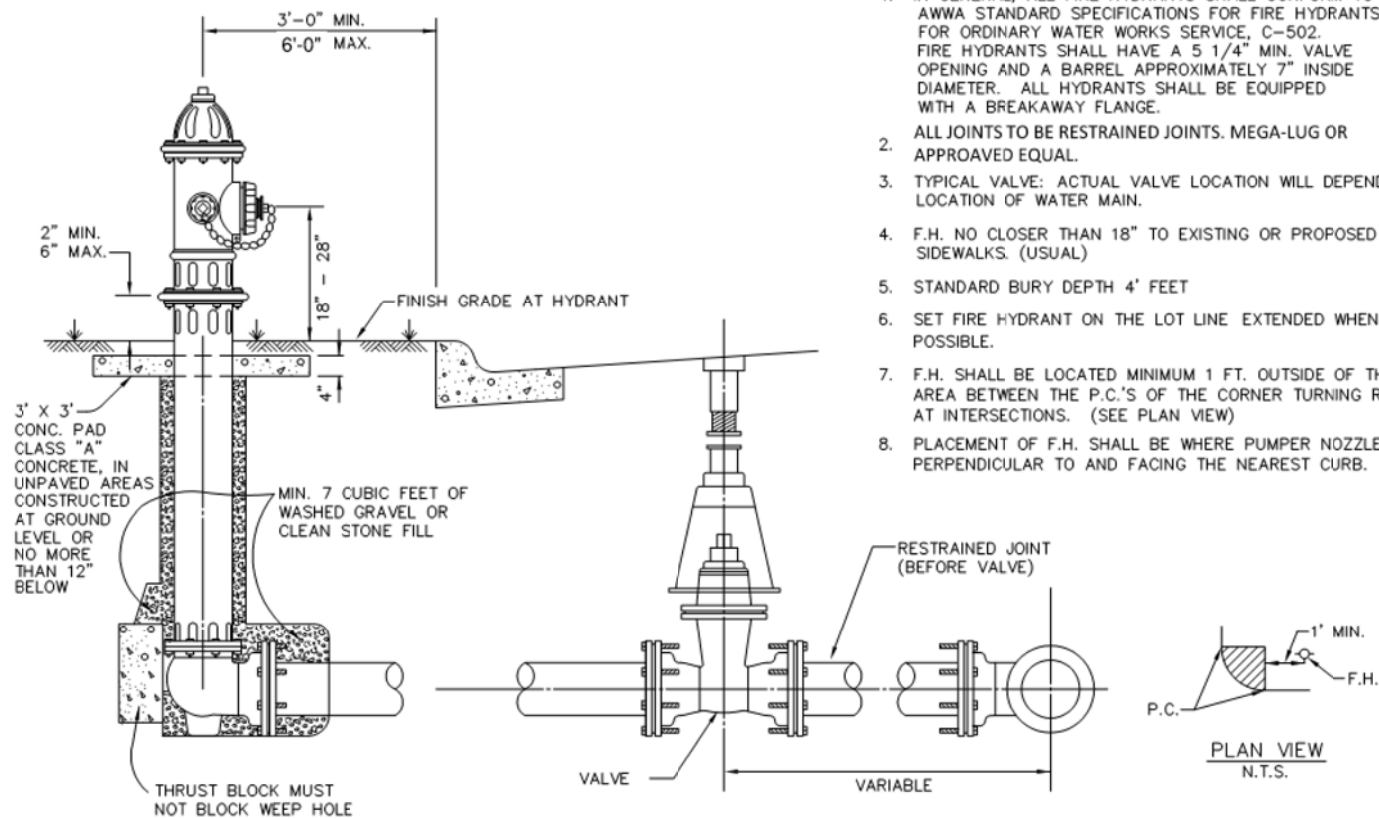


**ENCASED ROAD BORE
R-3090**

NOTES:

- 1) ALL BORES BY CONTRACTOR SHALL BE DRY BORES.
- 2) PREFABRICATED PLASTIC SPACERS SHALL BE RACI NORTH AMERICA OR APPROVED EQUAL, FOR THE SPECIFIC APPLICATION AS RECOMMENDED BY THE MANUFACTURER.
- 3) CONTRACTOR SHALL PROVIDE SUPPORT UNDER CARRIER PIPE TO HAVE A MIN. 1" CLEARANCE BETWEEN PIPE BELL AND ENCASEMENT PIPE.
- 4) ENDS OF ENCASEMENT PIPE SHALL HAVE END SEALS INSTALLED PER MANUFACTURER'S REQUIREMENTS. END SEALS SHALL BE CCI MODEL ESW WRAP-AROUND BY CCI PIPELINE SYSTEMS OR APPROVED EQUAL.
- 5) THE DESIGN ENGINEER SHALL DESIGN THE MINIMUM THICKNESS OF THE ENCASEMENT PIPE. DESIGN WILL NEED TO INCLUDE DEAD LOADING BASED ON THE HEIGHT OF COVER AND HS-20 LOADINGS FOR ROADWAY CROSSINGS AND E-80 LOADINGS FOR RAILROAD CROSSINGS.
- 6) STEEL ENCASEMENT PIPE SHALL CONFORM TO AWWA C-200. PIPE SHALL BE FABRICATED IN ACCORDANCE WITH ASTM A-570 FROM STEEL PLATES HAVING MINIMUM YIELD STRENGTH 36,000 PSI.
- 7) STEEL ENCASEMENT PIPE SHALL BE PAINTED INSIDE AND OUTSIDE WITH TWO COATS OF TNEDEC, HB TNEDECOL, SERIES 46+465 COAL TAR, OR CITY APPROVED EQUIVALENT PRIOR TO DELIVERY TO THE JOB SITE. MINIMUM COATING INSIDE AND OUTSIDE SHALL BE 12+MILS DRY FILM THICKNESS (DFT) PER EACH COAT.
- 8) ENCASEMENT PIPE SHALL BE FELD WELDED IN ACCORDANCE WITH AWWA C-206. WELDED JOINTS SHALL BE WIRE BRUSHED AND PAINTED WITH ONE COAT OF TNEDEC, OMNITHANE SERIES 530, 2.5-MILS DRY FILM THICKNESS (DFT) OR CITY APPROVED EQUIVALENT.

**UNDERGROUND CONDUIT
STEEL ENCASED BORE
R-3090**



**FIRE HYDRANT
INSTALLATION
R-4120**

NOTES:

1. IN GENERAL, ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARD SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE, C-502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN. VALVE OPENING AND A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
2. ALL JOINTS TO BE RESTRAINED JOINTS. MEGA-LUG OR APPROVED EQUAL.
3. TYPICAL VALVE: ACTUAL VALVE LOCATION WILL DEPEND ON LOCATION OF WATER MAIN.
4. F.H. NO CLOSER THAN 18" TO EXISTING OR PROPOSED SIDEWALKS. (USUAL)
5. STANDARD BURY DEPTH 4' FEET
6. SET FIRE HYDRANT ON THE LOT LINE EXTENDED WHEN POSSIBLE.
7. F.H. SHALL BE LOCATED MINIMUM 1 FT. OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADI AT INTERSECTIONS. (SEE PLAN VIEW)
8. PLACEMENT OF F.H. SHALL BE WHERE PUMPER NOZZLE IS PERPENDICULAR TO AND FACING THE NEAREST CURB.



**ROCKWALL IH 30
UTILITY
STANDARD DETAILS**

SHEET 1 OF 6

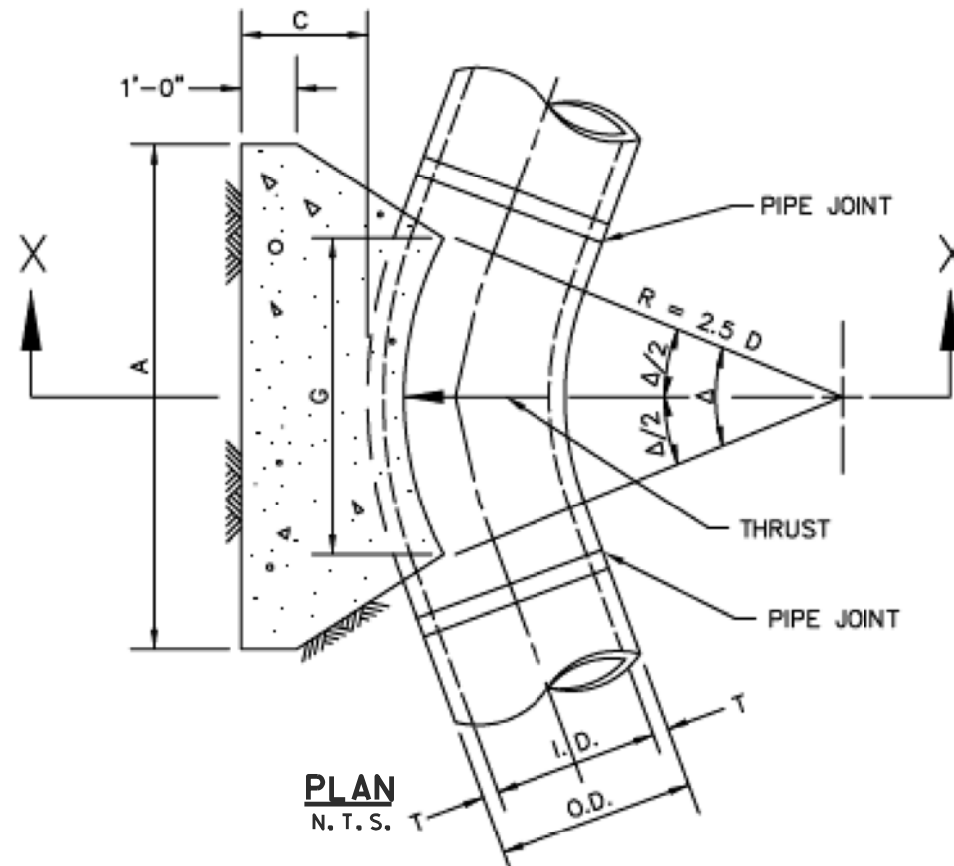
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 105		SHEET NO.
DALLAS	ROCKWALL		35

DATE:
FILE:

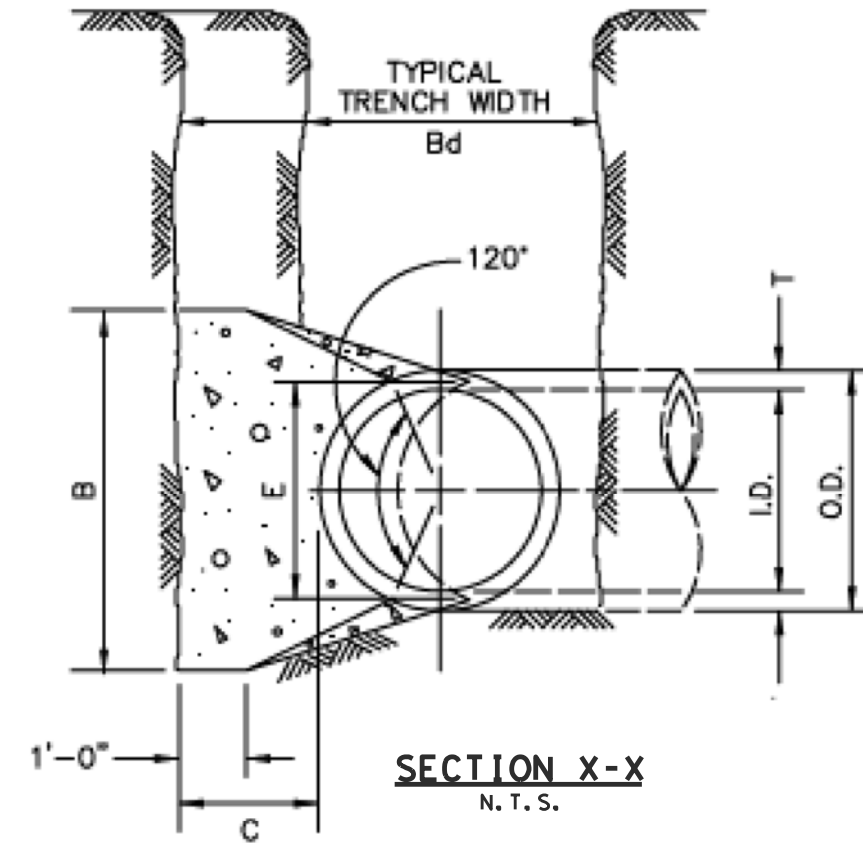
I.D. (IN.)	T (IN.)	$\Delta = 11.25'$	$\Delta \geq 22.50'$	E (FT.)
		C (FT.)	C (FT.)	
4,6,8	0.4	1.5	1.5	0.9
10,12	0.5	1.5	1.5	1.2
16,18	0.6	1.5	1.5	1.6

I.D. (IN.)	G (FT.)	THRUST (TONS)	$\Delta = 11.25'$						I.D. (IN.)	G (FT.)	THRUST (TONS)	$\Delta = 22.50'$					
			EARTH			ROCK						EARTH			ROCK		
			A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)				A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)
4,6,8	0.4	1.0	1.0	1.5	0.1	1.0	1.0	0.1	4,6,8	0.8	2.0	1.5	1.5	0.1	1.0	1.0	0.1
10,12	0.6	2.2	1.5	1.5	0.1	1.0	1.5	0.1	10,12	1.1	4.4	2.0	2.5	0.3	1.5	1.5	0.1
16,18	0.8	5.0	2.0	2.5	0.3	1.5	2.0	0.2	16,18	1.6	9.9	3.0	3.5	0.6	2.0	2.5	0.3

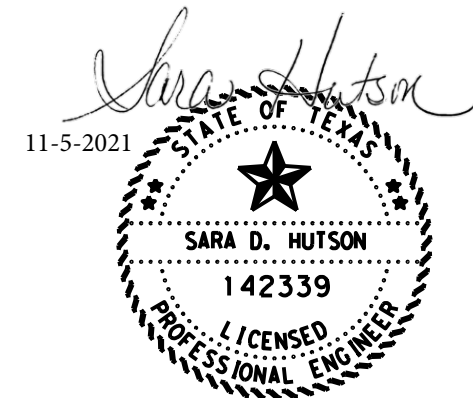
**HORIZONTAL THRUST BLOCK
AT PIPE BEND
TABLES OF DIMENSIONS AND QUANTITIES
4010B**



**HORIZONTAL THRUST BLOCK
AT PIPE BEND
4010A**



**HORIZONTAL THRUST BLOCK
AT PIPE BEND
4010A**



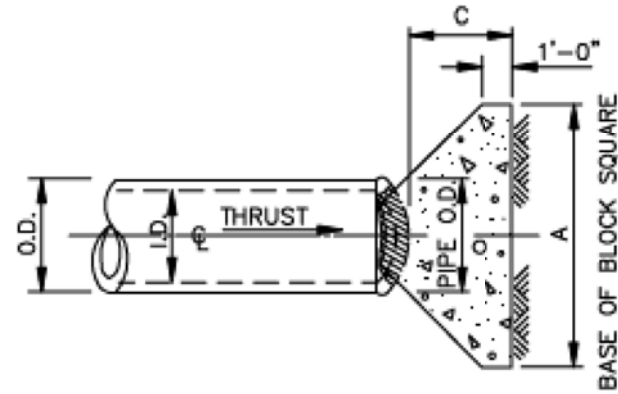
F-12679

**ROCKWALL IH 30
UTILITY
STANDARD DETAILS**

SHEET 2 OF 6

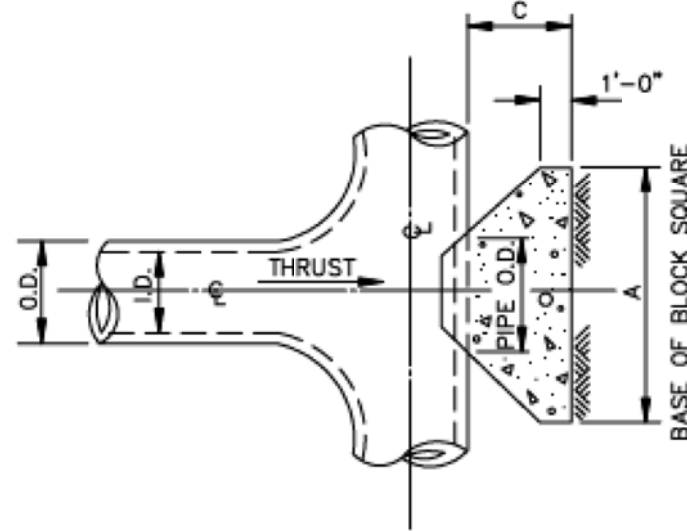
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COM 106		SHEET NO.
DALLAS	ROCKWALL		36

DATE:
FILE:



PLAN OF PLUG THRUST BLOCK

N.T.S.



PLAN OF TEE THRUST BLOCK

N.T.S.

I.D. (IN.)	THRUST (TONS)	C (FT.)	EARTH			ROCK	
			A (FT.)	VOL. (C.Y.)	A (FT.)	VOL. (C.Y.)	
4,6,8	5.1	1.5	2.5	0.3	2.0	0.2	
10,12	11.3	1.5	3.5	0.6	2.5	0.3	
16,18	25.5	2.0	5.5	1.6	4.0	0.9	

HORIZONTAL THRUST BLOCK

AT TEES AND PLUGS

4020

REFER TO
STD. DWG. No. 4040
FOR GENERAL NOTES

I.D. (IN.)	$\Delta = 30^\circ$									I.D. (IN.)	$\Delta = 45^\circ$								
	G (FT.)	THRUST (TONS)	EARTH			ROCK			G (FT.)		THRUST (TONS)	EARTH			ROCK				
			A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)				A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)		
4,6,8	1.0	2.6	2.0	1.5	0.2	1.0	1.5	0.1	4,6,8	1.5	3.9	2.0	2.0	0.2	1.5	1.5	0.1		
10,12	1.5	5.9	2.5	2.5	0.3	2.0	1.5	0.2	10,12	2.2	8.7	3.5	2.5	0.5	2.0	2.5	0.3		
16,18	2.2	13.2	3.5	4.0	0.8	2.5	3.0	0.4	16,18	3.2	19.5	4.5	4.5	1.2	3.0	3.5	0.6		

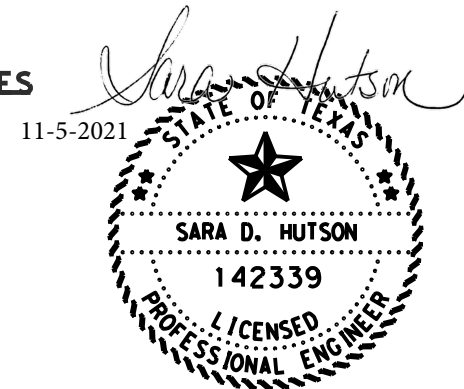
I.D. (IN.)	$\Delta = 67.50^\circ$									I.D. (IN.)	$\Delta = 90^\circ$								
	G (FT.)	THRUST (TONS)	EARTH			ROCK			G (FT.)		THRUST (TONS)	EARTH			ROCK				
			A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)				A (FT.)	B (FT.)	VOL. (C.Y.)	A (FT.)	B (FT.)	VOL. (C.Y.)		
4,6,8	2.1	5.6	3.0	2.0	0.3	2.0	1.5	0.2	4,6,8	2.7	7.1	5.0	1.5	0.4	2.0	2.0	0.2		
10,12	3.1	12.6	5.5	2.5	0.8	3.5	2.0	0.4	10,12	4.0	16.0	6.5	2.5	1.0	3.5	2.5	0.5		
16,18	4.7	28.3	7.5	4.0	1.9	5.5	3.0	0.9	16,18	6.0	36.0	9.0	4.0	2.4	4.5	4.0	1.0		

HORIZONTAL THRUST BLOCK

AT PIPE BEND

TABLES OF DIMENSIONS AND QUANTITIES

4010C



11-5-2021



VOLKERT

F-12679

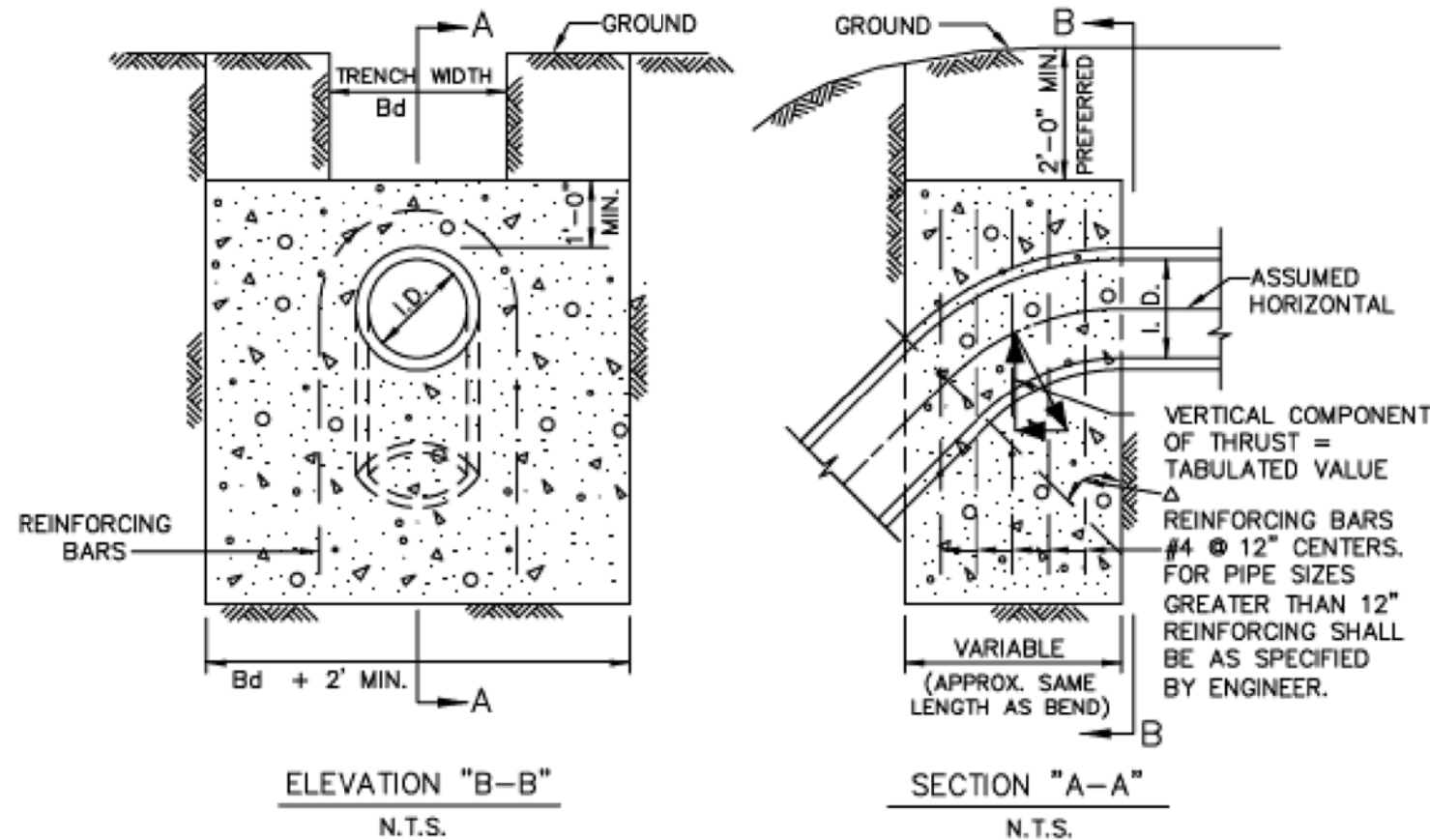
ROCKWALL IH 30
UTILITY
STANDARD DETAILS

SHEET 3 OF 6

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COM		SHEET NO.
DALLAS	ROCKWALL		37

GENERAL NOTES FOR ALL THRUST BLOCKS:

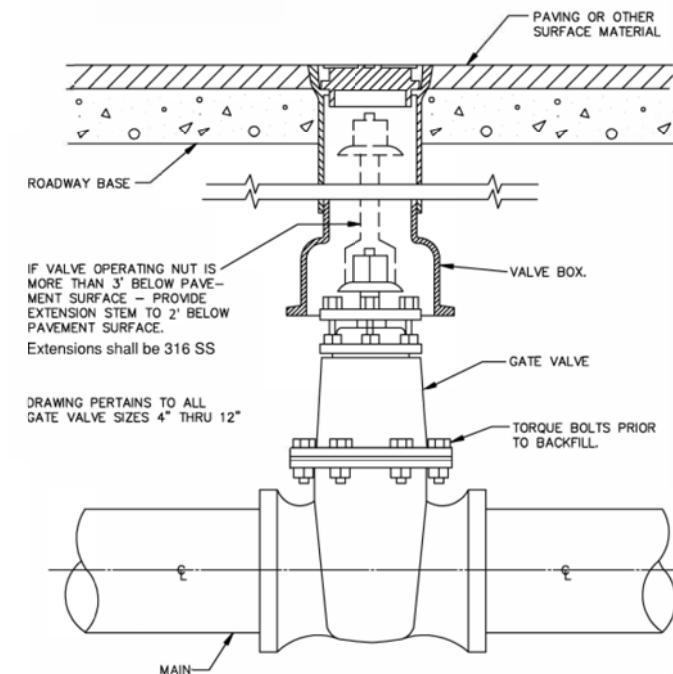
1. CONCRETE FOR BLOCKING SHALL BE CLASS "B".
2. ALL CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 PSI FOR DUCTILE IRON, P.V.C., AND 150 PSI FOR CONCRETE PIPE.
3. VOLUMES OF THRUST BLOCKS ARE NET VOLUMES OF CONCRETE TO BE FURNISHED. THE CORRESPONDING WEIGHT OF THE CONCRETE (CLASS "B") IS EQUAL TO OR GREATER THAN THE VERTICAL COMPONENT OF THE THRUST ON THE VERTICAL BEND.
4. WALL THICKNESS (T) ASSUMED HERE FOR ESTIMATING PURPOSES ONLY.
5. POUR CONCRETE FOR BLOCK AGAINST UNDISTURBED EARTH.
6. DIMENSIONS MAY BE VARIED AS REQUIRED BY FIELD CONDITIONS WHERE AND AS DIRECTED BY THE ENGINEER. THE VOLUME OF CONCRETE BLOCKING SHALL NOT BE LESS THAN SHOWN HERE.
7. THE SOIL BEARING PRESSURES ARE BASED ON 1000 LBS./S.F. IN SOIL AND 2000 LBS./S.F. IN ROCK.
8. USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE AND BEND, TEE, OR PLUG TO PREVENT THE CONCRETE FROM STICKING TO IT.
9. CONCRETE SHALL NOT EXTEND BEYOND JOINTS.



REFER TO
STD. DWG. No. 4040
FOR GENERAL NOTES.

THRUST BLOCK
GENERAL NOTES
4040

NOTE:
IN UNPAVED AREAS, INSTALL 2' x 2' x 6" CONCRETE VALVE PAD FLUSH WITH THE TOP OF VALVE BOX. REINFORCE WITH #3 BARS ON 6" CENTERS BOTH WAYS.



GATE VALVE 4" TO 12"
BOX & EXTENSION STEM
R-4050

Δ →	11.25°		22.50°		30°		45°		67.50°		90°		← Δ
I.D. (IN.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	THRUST (TONS)	VOL. (C.Y.)	I.D. (IN.)
4,6,8	1.0	0.5	2.0	1.0	2.5	1.3	3.6	1.8	4.6	2.3	5.0	2.5	4,6,8
10,12	2.2	1.1	4.3	2.2	5.7	2.8	8.0	4.0	10.5	5.2	11.3	5.7	10,12
16,18	5.0	2.5	9.7	4.9	12.7	6.4	18.0	9.0	23.5	11.8	25.5	12.7	16,18

VERTICAL THRUST BLOCK
AT PIPE BEND
4030

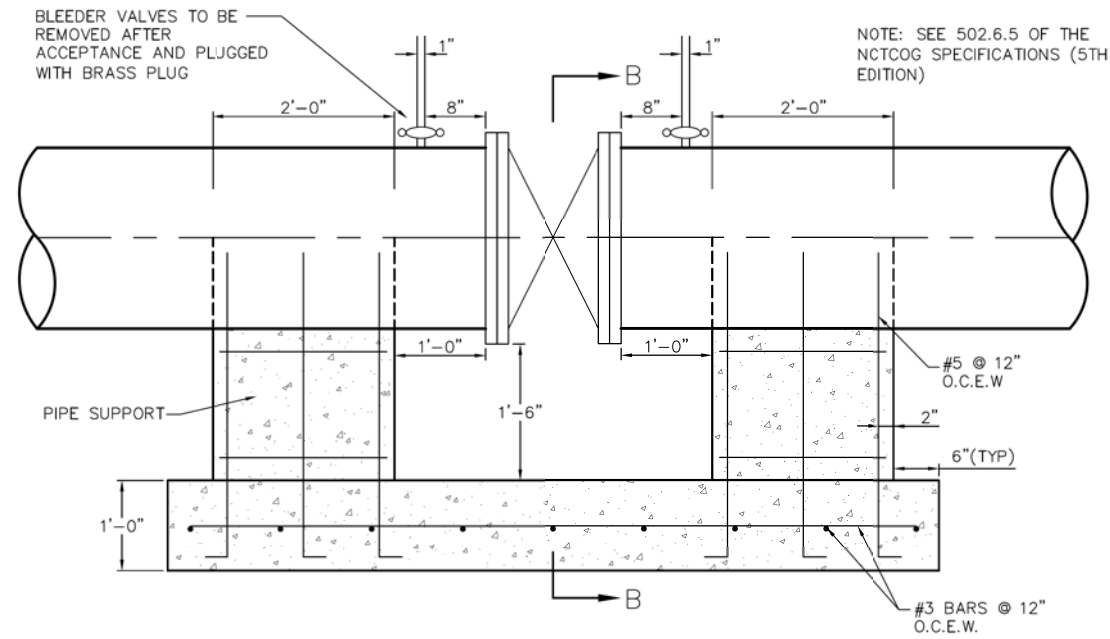


F-12679
ROCKWALL IH 30
UTILITY
STANDARD DETAILS

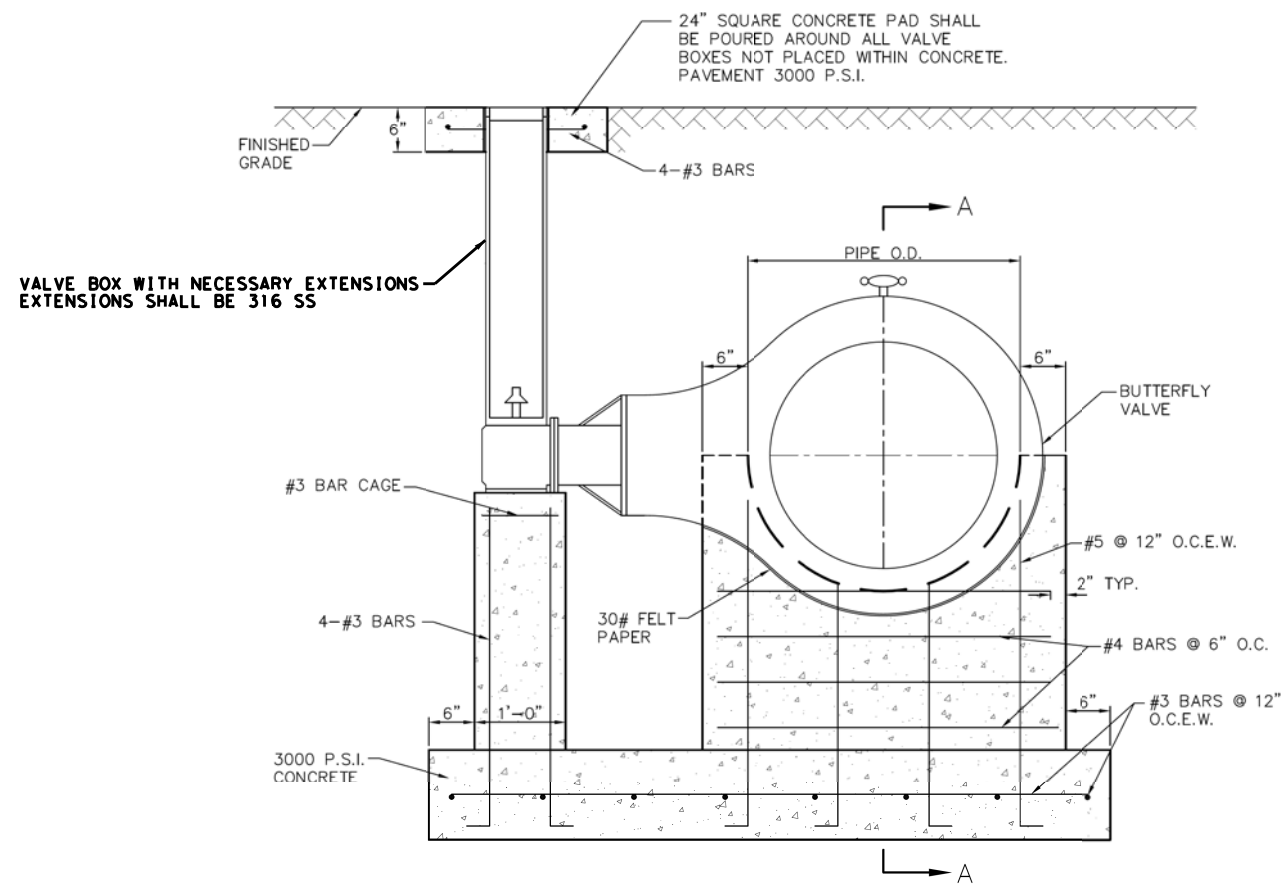
SHEET 4 OF 6

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COM 108		SHEET NO.
DALLAS	ROCKWALL		38

DATE:
FILE:



SECTION A-A



SECTION B-B

16" THRU 21"
HORIZONTAL BUTTERFLY VALVES

11-5-2021

Sara Hutson

STATE OF TEXAS

SARA D. HUTSON

142339

LICENSED PROFESSIONAL ENGINEER



VOLKERT

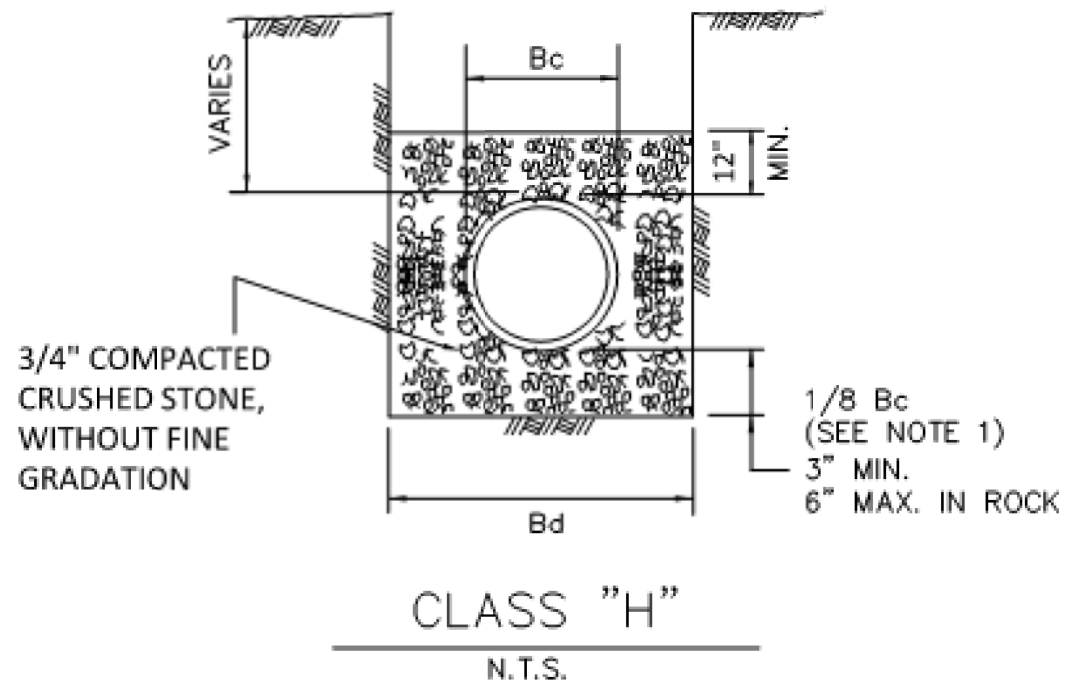
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ROCKWALL IH 30
UTILITY
STANDARD DETAILS

SHEET 5 OF 6

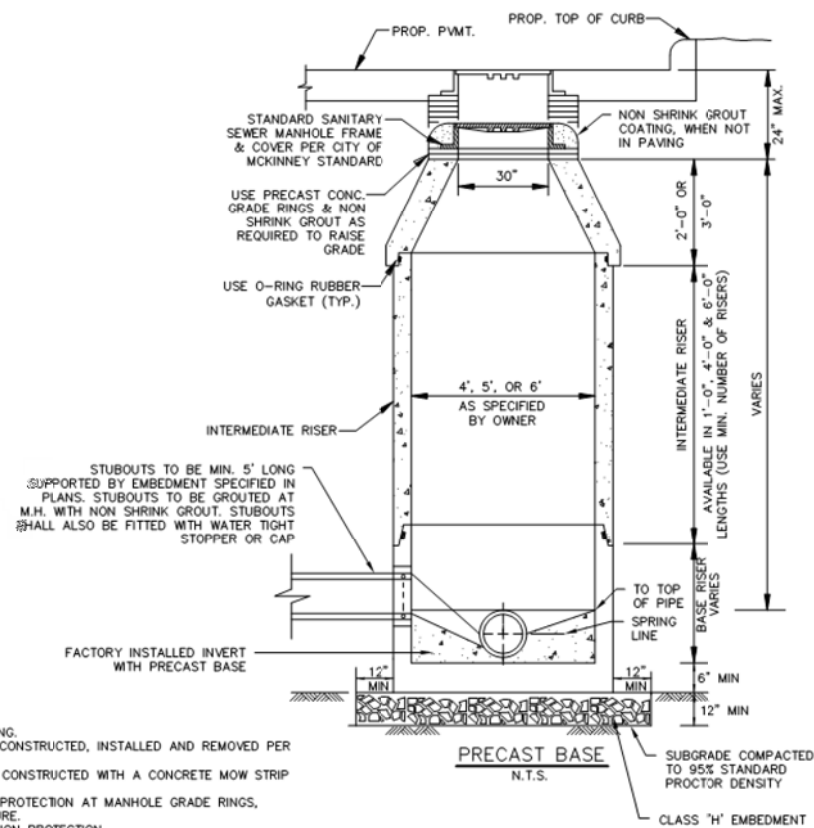
CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COR 109		SHEET NO.
DALLAS	ROCKWALL		39

DATE:
FILE:



(TO BE USED FOR PVC WASTEWATER PIPE)

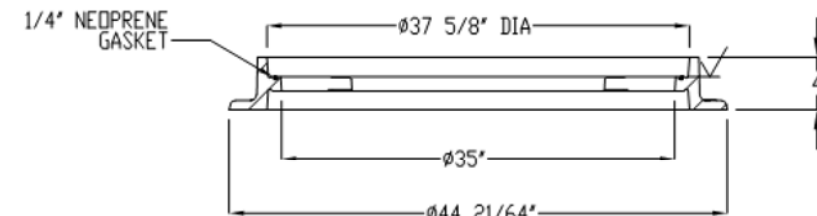
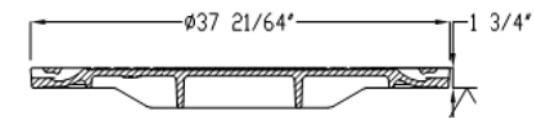
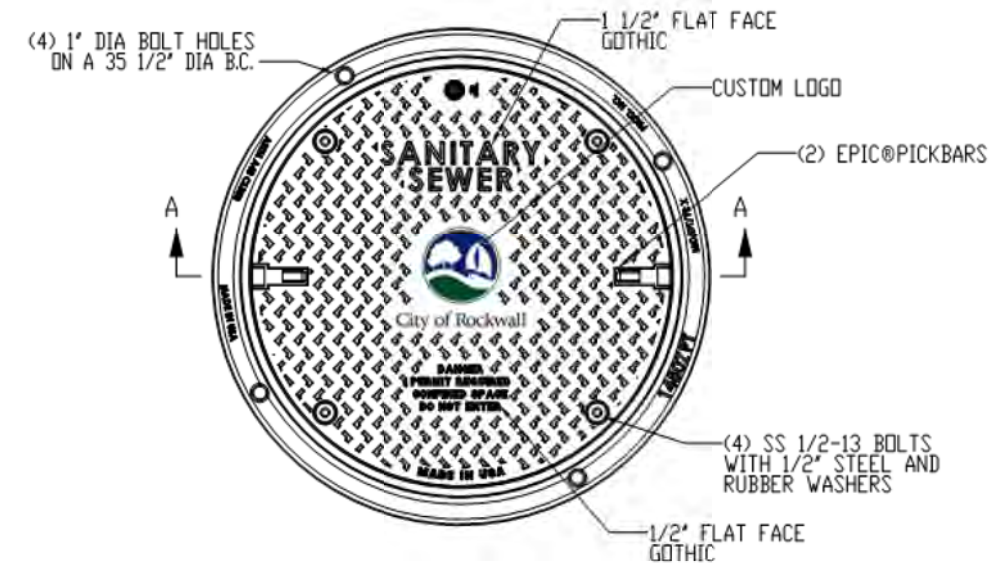
EMBEDMENT
R-3060



NOTES:

- FIRST MAIN LINE JOINT TO BE A MIN. OF 5' LONG.
- IF FALSE M.H. ARE REQUIRED, THEY SHALL BE CONSTRUCTED, INSTALLED AND REMOVED PER STD. DWG. NO. 5100.
- M.H.'S LOCATED OUTSIDE OF PAVING SHALL BE CONSTRUCTED WITH A CONCRETE MOW STRIP PER STD. DWG. NO. R-7005.
- REFER TO STD. DWG. NO. R-5031 FOR INFLOW PROTECTION AT MANHOLE GRADE RINGS, MANHOLE JOINTS AND ON OUTSIDE OF STRUCTURE.
- REFER TO STD. DWG. NO. R-5032 FOR CORROSION PROTECTION.
- CONCRETE SHALL BE 4,200 PSI (7.0 SACK/CY) 28 DAY STRENGTH.
- REINFORCING SHALL MEET OR EXCEED ASTM C478 REQUIREMENTS.
- INSTALL GREEN EMS DISK AT ALL MANHOLES.
- LIP TO BE PRECAST.

WASTEWATER MANHOLE
PRECAST
R-5020



SECTION A-A

WASTEWATER MANHOLE
BOLT AND GASKET RIM AND COVER
R-5102



VOLKERT

F-12679

ROCKWALL IH 30
UTILITY
STANDARD DETAILS

SHEET 6 OF 6

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY		SHEET NO.
DALLAS	ROCKWALL		40

DATE:
FILE:

DETOURS, BARRICADES, WARNING SIGNS, SEQUENCE OF WORK, ETC.

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF ITEM 7, "LEGAL RELATIONS AND RESPONSIBILITIES TO THE PUBLIC", OF THE TxDOT STANDARD SPECIFICATIONS.

GENERAL

- (1) TRAFFIC MUST BE HANDLED THROUGHOUT THE PROJECT DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SAFE AND COMFORTABLE PASSAGE FOR VEHICULAR AND PEDESTRIAN TRAFFIC WITH MINIMAL INCONVENIENCE TO THE PUBLIC, AS SHOWN IN THE PLANS OR AS DIRECTED/APPROVED BY THE ENGINEER.
- (2) THE CONTRACTOR MAY PROPOSE/RECOMMEND MODIFICATIONS TO THE SEQUENCE OF WORK FOR CONSIDERATION BY THE ENGINEER. ANY MAJOR RECOMMENDED MODIFICATION BY THE CONTRACTOR SHALL INCLUDE ANY CHANGES TO THE VARIOUS BID ITEMS, IMPACT TO TRAFFIC, EFFECT OF OVERALL PROJECT IN TIME AND COST, ETC. IF THIS PROPOSAL IS IMPLEMENTED, THE CONTRACTOR WILL BE RESPONSIBLE FOR DEVELOPING DETAILED PLAN SHEETS TO BE SEALED BY A LICENSED PROFESSIONAL ENGINEER FOR INCLUSION WITH THE CHANGE ORDER. THE CONTRACTOR CANNOT PROCEED WITH ANY CONSTRUCTION OPERATIONS BASED ON A REVISED PHASE/SEQUENCE UNTIL WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. IF AT ANY TIME DURING CONSTRUCTION THE CONTRACTOR'S PROPOSED PLAN OF OPERATION FOR HANDLING TRAFFIC DOES NOT PROVIDE FOR SAFE AND COMFORTABLE MOVEMENT, THE CONTRACTOR WILL IMMEDIATELY CHANGE THEIR OPERATION TO CORRECT THE UNSATISFACTORY CONDITION.
- (3) DO NOT STORE ANY CONSTRUCTION MATERIAL OR EQUIPMENT AT ANY LOCATION THAT WILL CONSTITUTE A HAZARD AND WILL ENDANGER TRAFFIC.
- (4) THE CONTRACTOR WILL PROVIDE ADVANCE NOTIFICATION TO THE ENGINEER OF IMPENDING / UPCOMING LANE CLOSURES FOR ALL TEMPORARY AND / OR PERMANENT LANE, RAMP, CONNECTOR, FRONTAGE, SHOULDER, ETC. CLOSURES OR DETOURS. SEE GENERAL NOTES FOR NOTIFICATION REQUIREMENTS.
- (5) ACCESS TO ADJOINING PROPERTY MUST BE MAINTAINED AT ALL TIMES.
- (6) TEMPORARY DRAINAGE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- (7) AT NO TIME SHALL TWO CONSECUTIVE INTERSECTING ROADWAYS BE CLOSED AT ONE TIME DURING CONSTRUCTION.
- (8) UNLESS OTHERWISE NOTED IN THE PLANS AND/OR AS DIRECTED BY THE ENGINEER, DAILY LANE CLOSURES SHALL BE LIMITED ACCORDING TO THE FOLLOWING RESTRICTIONS:
 - NIGHTTIME : ASK CITY ENGINEER AND CONSTRUCTION ENGINEER. (WITH UNIFORMED OFF DUTY LAW ENFORCEMENT OFFICERS)
 - WEEKEND CLOSURES WHEN APPROVED BY THE ENGINEER: ASK CITY ENGINEER AND CONSTRUCTION ENGINEER.
- (9) COORDINATE WITH ADJACENT PROJECTS, IF ANY.
- (10) COVER PERMANENT SIGNS IF NOT USED.
- (11) COORDINATE WITH THE CITY OF ROCKWALL OR TxDOT FOR SIGNAL TIMING DEVISIONS, IF NECESSARY.

SEQUENCE OF WORK

- (1) THIS PROJECT WILL BE CONSTRUCTED IN TWO (2) PHASES. BEFORE THE COMMENCEMENT OF EACH PHASE, INSTALL ADVANCE WARNING SIGNS, TEMPORARY SIGNS AND BARRICADES AS SHOWN ON THE PLANS AND/OR AS DIRECTED/APPROVED BY THE ENGINEER. DAILY LANE CLOSURES WILL BE USED IN ACCORDANCE WITH STATE TCP STANDARDS. DROP OFF CONDITIONS OF GREATER THAN 2" MUST HAVE A 3:1 SLOPE AT THE END OF EACH DAY, AS WELL AS THROUGHOUT THE PROJECT WHERE ACCESS TO ADJACENT PROPERTIES IS ALLOWED TODRIVEWAYS AND SIDE STREETS.
- (2) PREPARING ROW / REMOVAL OF EXISTING ITEMS TO BE DONE ONLY IN AREAS WHERE WORK IS OCCURING, AS PERTHE PHASES NOTED BELOW.
- (3) A BRIEF DESCRIPTION OF THESE PHASES ARE AS FOLLOWS:

PHASE 1

IN ADVANCE OF ROADWAY CONSTRUCTION, EXISTING WATER MAIN WILL BE REMOVED AND/OR ABANDONED AND NEW WATER MAIN INSTALL AT VARIOUS LOCATIONS ALONG THE WESTBOUND FRONTAGE ROAD OF IH 30 IN THE CITY OF ROCKWALL. NEW WATER MAINS TO BE INSTALLED AND CONNECTED BEFORE EXISTING WATER MAIN CAN BE REMOVED OR ABANDONED.

PHASE 1A

INSTALL WATER MAIN #01 AND REMOVE/ABANDON EXISTING FACILITIES.

PHASE 1B

INSTALL WATER MAIN #02 AND REMOVE/ABANDON EXISTING FACILITIES.

PHASE 1C

INSTALL WATER MAIN #03 AND REMOVE/ABANDON EXISTING FACILITIES.

PHASE 2

IN ADVANCE OF ROADWAY CONSTRUCTION, EXISTING WATER MAIN AND WASTEWATER MAIN WILL BE REMOVED AND/OR ABANDONED AND NEW WATER MAIN AND WASTEWATER MAIN INSTALLED AT VARIOUS LOCATIONS ALONG THE EASTBOUND FRONTAGE ROAD OF IH 30 IN THE CITY OF ROCKWALL. NEW WATER MAINS AND WASTEWATER MAINS TO BE INSTALLED AND CONNECTED BEFORE EXISTING WATER MAIN OR WASTEWATER MAIN CAN BE REMOVED OR ABANDONED.

PHASE 2A

INSTALL WATER MAIN #04 AND REMOVE/ABANDON EXISTING FACILITIES.

PHASE 2B

INSTALL WASTEWATER #01 AND REMOVE/ABANDON EXISTING FACILITIES.

PHASE 2C

RELOCATE EXISTING VALVE SHOWN FOR WATER MAIN #05.

PHASE 2D

REMOVE EXISTING FIRE HYDRANT AND VALVE AS SHOWN FOR WATER MAIN #06.

SAFETY

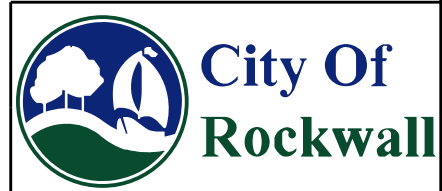
- (1) THE CONTRACTOR WILL PROVIDE, CONSTRUCT AND MAINTAIN BARRICADES AND SIGNS IN ACCORDANCE WITH STATE STANDARDS. ANY SIGNS REQUIRED THAT ARE NOT DETAILED IN THE STANDARD SHEETS SHALL BE IN CONFORMANCE WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND THE "STANDARD HIGHWAY SIGN DESIGNS FOR TEXAS."
- (2) BARRICADES AND WARNING SIGNS SHALL BE PLACED AS INDICATED ON THE PLANS. THIS SHALL BE CONSIDERED THE MINIMUM REQUIRED TO PROVIDE FOR THE SAFETY OF TRAFFIC DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN OTHER SUCH BARRICADES AND SIGNS DEEMED NECESSARY BY THE ENGINEER OR AS DIRECTED BY FIELD CONDITIONS, TO PROVIDE FOR THE PASSAGE OF TRAFFIC IN SAFETY AT ALL TIMES.
- (3) THE CONTRACTOR SHALL PROVIDE AND MAINTAIN FLAGGERS AS DIRECTED/APPROVED BY THE ENGINEER, AT SUCH POINTS, AND FOR SUCH PERIODS OF TIME AS MAY BE REQUIRED, TO PROVIDE FOR THE SAFETY OF THE TRAVELING PUBLIC AND THE CONTRACTOR'S PERSONNEL.
- (4) THE CONTRACTOR SHALL KEEP THE ROADWAY CLEAN AND FREE OF DIRT OR OTHER MATERIALS DURING HAULING OPERATIONS. IF THE CONTRACTOR DOES NOT MAINTAIN A CLEAN ROADWAY, THEY SHALL CEASE ALL CONSTRUCTION OPERATIONS, WHEN DIRECTED BY THE ENGINEER, TO CLEAN THE ROADWAY TO THE SATISFACTION OF THE ENGINEER.

HAULING EQUIPMENT

- (1) THE USE OF RUBBER-TIRED EQUIPMENT WILL BE REQUIRED FOR MOVING DIRT OR OTHER MATERIALS ALONG OR ACROSS PAVEMENTED SURFACES. WHERE THE CONTRACTOR DESIRES TO MOVE ANY EQUIPMENT NOT LICENSED FOR OPERATION ON PUBLIC HIGHWAYS, ON OR ACROSS PAVEMENT. THEY SHALL PROTECT THE PAVEMENT FROM DAMAGE AS DIRECTED / APPROVED BY THE ENGINEER.
- (2) THROUGHOUT CONSTRUCTION OPERATIONS, THE CONTRACTOR WILL BE REQUIRED TO CONDUCT THEIR HAULING OPERATIONS IN A MANNER SUCH THAT VEHICLES WILL NOT HAUL OVER PREVIOUSLY RECOMPACTED SUBGRADE OR COMPACTED BASE MATERIAL, EXCEPT IN SHORT SECTIONS FOR DUMPING MANIPULATIONS.

FINAL CLEAN UP

UPON COMPLETION OF THE WORK AND BEFORE FINAL ACCEPTANCE AND FINAL PAYMENT IS MADE, THE CONTRACTOR SHALL CLEAR AND REMOVE FROM THE SITE ALL SURPLUS AND DISCARDED MATERIALS AND DEBRIS OF EVERY KIND AND LEAVE THE ENTIRE PROJECT IN A SMOOTH, NEAT AND SIGHTLY CONDITION. ALL RIGHT OF WAY AND EASEMENTS TO BE SODDED PRIOR TO FINAL ACCEPTANCE.



**ROCKWALL IH 30
TRAFFIC CONTROL
NARRATIVE**

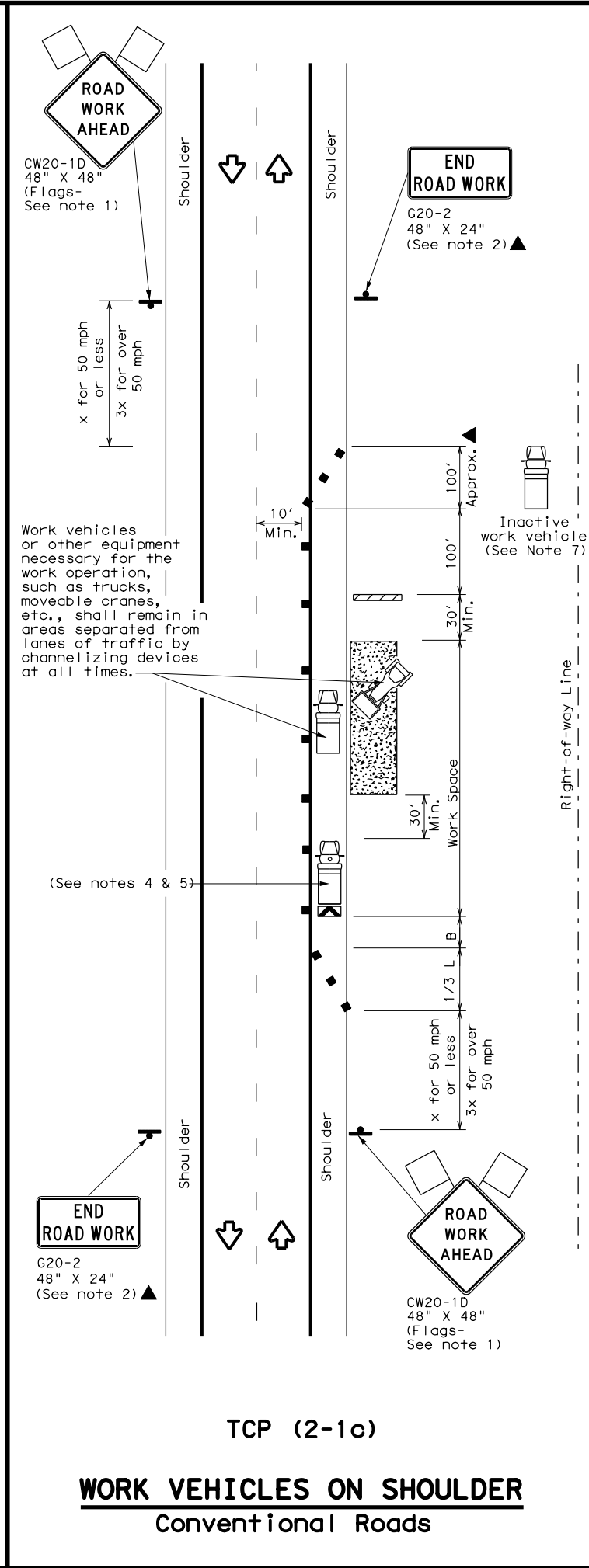
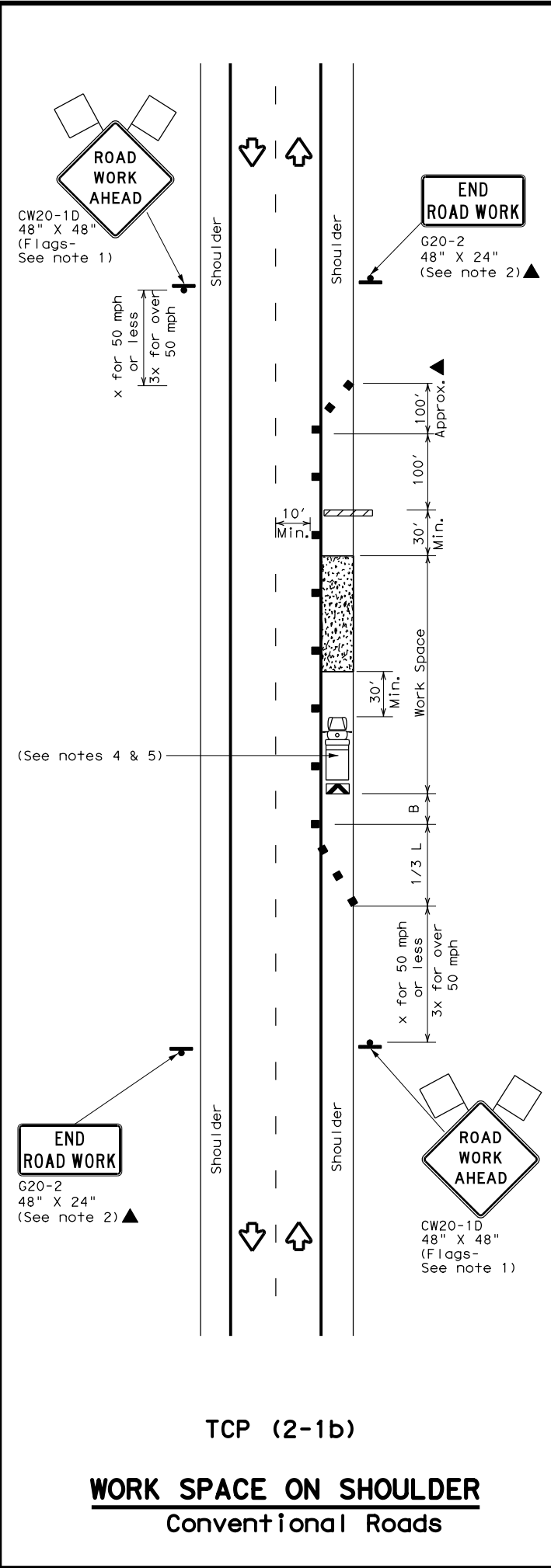
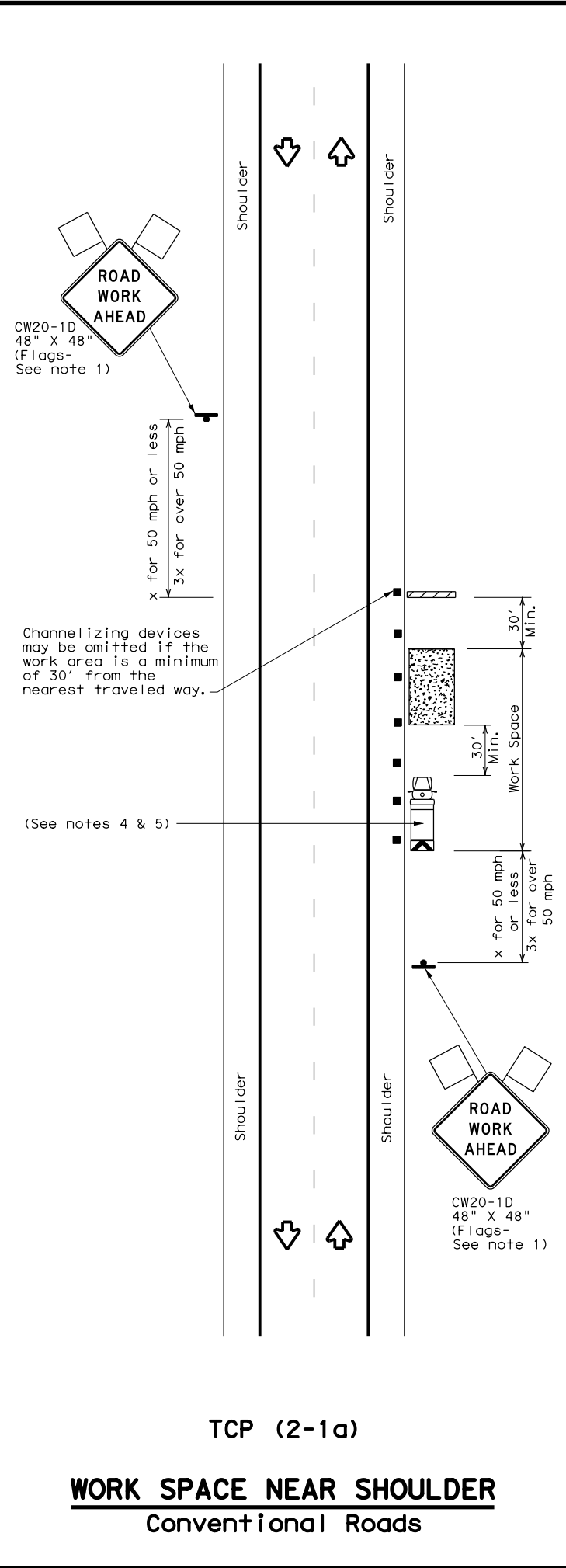
SHEET 1 OF 1

CONT	SECT	JOB	HIGHWAY
0009	12	220	IH 30
DIST	COUNTY		SHEET NO.
DALLAS	ROCKWALL		41

DATE: SDATES
FILE: SFILES

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DATE: 05-NOV-2021 15:37
 FILE: Projects\1066800 - Rockwall_IH_30 Widening- Utility Conflict Analysis.dwg



LEGEND			
	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	$L = \frac{WS^2}{60}$	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only
 ** Taper lengths have been rounded off.
 L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

TYPICAL USAGE				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
	✓	✓	✓	✓

- GENERAL NOTES**
1. Flags attached to signs where shown, are REQUIRED.
 2. All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated in the plans, or for routine maintenance work, when approved by the Engineer.
 3. Stockpiled material should be placed a minimum of 30 feet from nearest traveled way.
 4. Shadow Vehicle with TMA and high intensity rotating, flashing, oscillating or strobe lights. A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 5. Additional Shadow Vehicles with TMAs may be positioned off the paved surface, next to those shown in order to protect a wider work space.
 6. See TCP(5-1) for shoulder work on divided highways, expressways and freeways.
 7. Inactive work vehicles or other equipment should be parked near the right-of-way line and not parked on the paved shoulder.
 8. CW21-5 "SHOULDER WORK" signs may be used in place of CW20-1D "ROAD WORK AHEAD" signs for shoulder work on conventional roadways.

Texas Department of Transportation Traffic Operations Division Standard

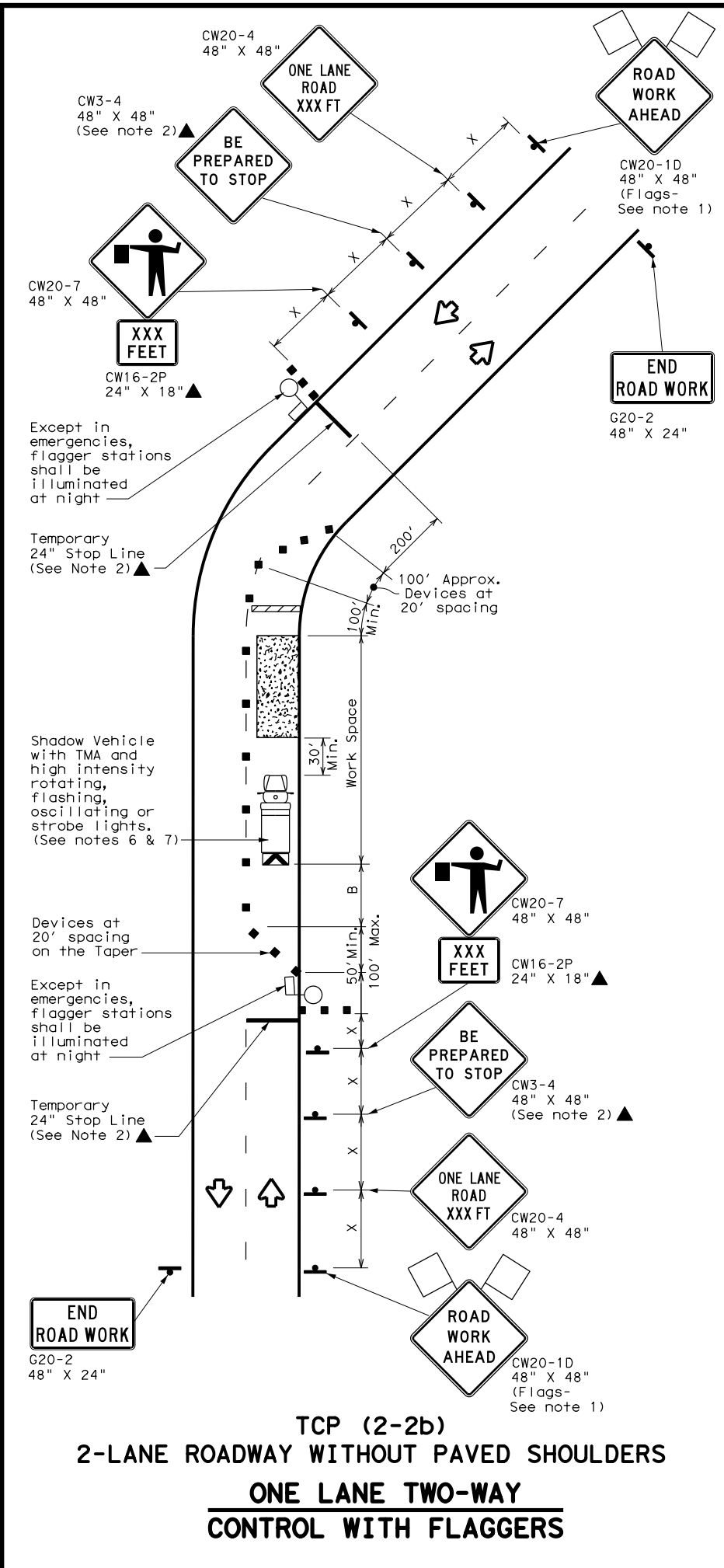
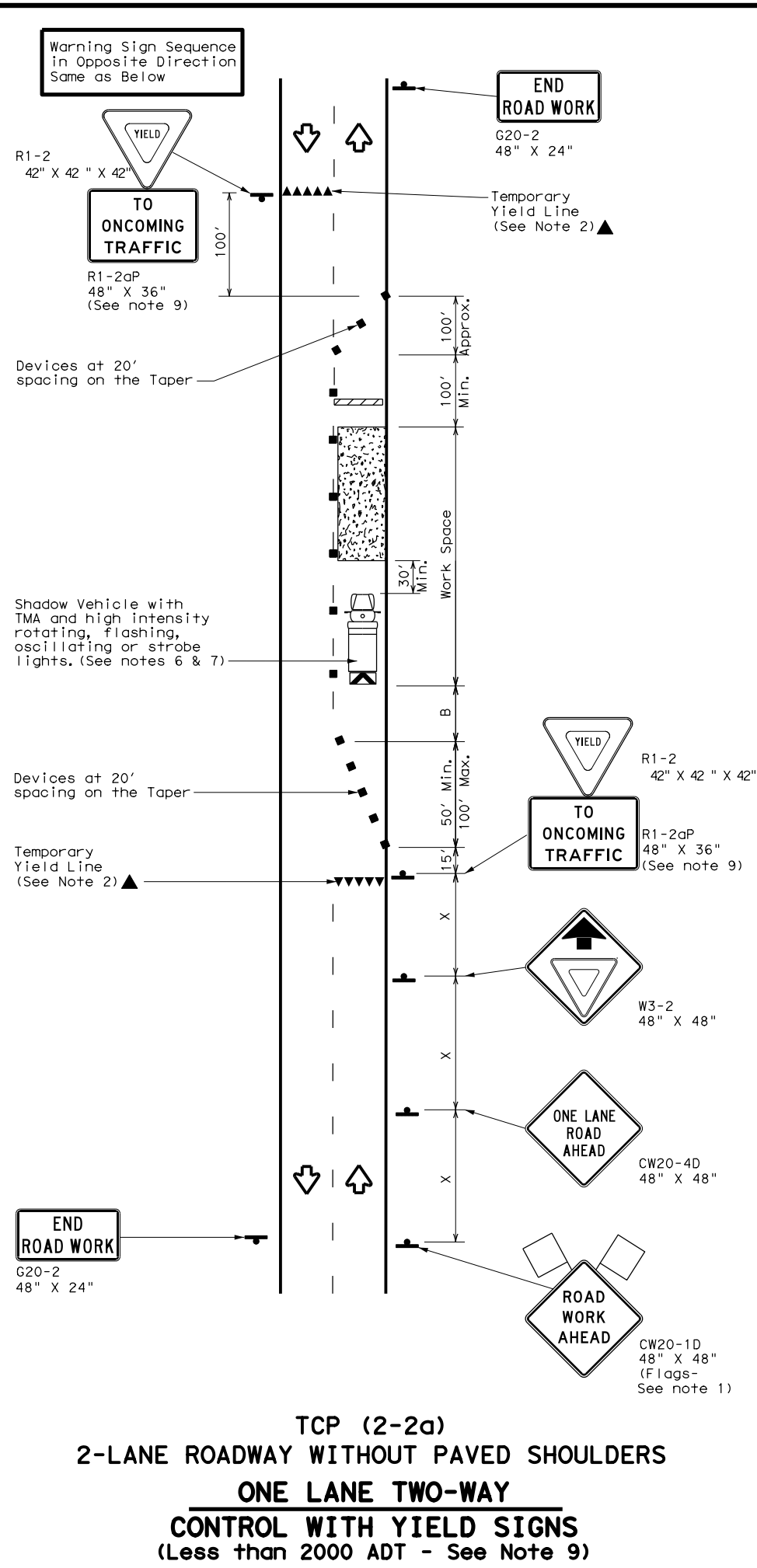
TRAFFIC CONTROL PLAN
CONVENTIONAL ROAD
SHOULDER WORK

TCP (2-1) - 18

FILE: tcp2-1-18.dgn	DN:	CK:	DW:	CK:
© TxDOT December 1985	CON:	SECT:	JOB:	HIGHWAY:
REVISIONS	0009	12	220	IH 30
2-94 4-98				
8-95 2-12				
1-97 2-18				
	DIST:	COM:	SHEET NO.:	
	DAL	ROCKWALL	42	

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DATE: 05-NOV-2021 15:37
 FILE: Projects\1066800 - Rockwall - Utility Conflict Analysis\1066800.dgn



LEGEND

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "x" Distance	Suggested Longitudinal Buffer Space "B"	Stopping Sight Distance
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent			
30	L = WS ² / 60	150'	165'	180'	30'	60'	120'	90'	200'
35		205'	225'	245'	35'	70'	160'	120'	250'
40		265'	295'	320'	40'	80'	240'	155'	305'
45	L = WS	450'	495'	540'	45'	90'	320'	195'	360'
50		500'	550'	600'	50'	100'	400'	240'	425'
55		550'	605'	660'	55'	110'	500'	295'	495'
60		600'	660'	720'	60'	120'	600'	350'	570'
65		650'	715'	780'	65'	130'	700'	410'	645'
70		700'	770'	840'	70'	140'	800'	475'	730'
75		750'	825'	900'	75'	150'	900'	540'	820'

* Conventional Roads Only
 ** Taper lengths have been rounded off.
 L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

TYPICAL USAGE

MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
	✓	✓	✓	

GENERAL NOTES

- Flags attached to signs where shown, are REQUIRED.
 - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
 - The CW3-4 "BE PREPARED TO STOP" sign may be installed after the CW20-4 "ONE LANE ROAD XXX FT" sign, but proper sign spacing shall be maintained.
 - Flaggers should use two-way radios or other methods of communication to control traffic.
 - Length of work space should be based on the ability of flaggers to communicate.
 - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
 - Additional Shadow Vehicles with TMAs may be positioned off the paved surface, next to those shown in order to protect a wider work space.
- TCP (2-2a)**
- The R1-2 "YIELD" sign traffic control may be used on projects with approaches that have adequate sight distance. For projects in urban areas, work space should be no longer than one half city block. In rural areas, roadways with less than 2000 ADT, work space should be no longer than 400 feet.
 - The R1-2aP "YIELD TO ONCOMING TRAFFIC" sign shall be placed on a support at a 7 foot minimum mounting height.
- TCP (2-2b)**
- Channelizing devices on the center line may be omitted when a pilot car is leading traffic and approved by the Engineer.
 - If the work space is located near a horizontal or vertical curve, the buffer distances should be increased in order to maintain stopping sight distance to the flagger and a queue of stopped vehicles. (See table above).
 - Flaggers should use 24" STOP/SLOW paddles to control traffic. Flags should be limited to emergency situations.

Texas Department of Transportation
 Traffic Operations Division Standard

TRAFFIC CONTROL PLAN
ONE-LANE TWO-WAY
TRAFFIC CONTROL

TCP (2-2) - 18

FILE: tcp2-2-18.dgn	DN:	CK:	DW:	CK:
© TxDOT December 1985	CONT	SECT	JOB	HIGHWAY
REVISIONS	0009	12	220	IH 30
8-95 3-03				
1-97 2-12				
4-98 2-18	DAL	ROCKWALL		SHEET NO. 43

Attachment “B” Accounting Method

Actual Cost Method of Accounting

The utility accumulates cost under a work order accounting procedure prescribed by the Federal or State regulatory body and proposes to request reimbursement for actual direct and related indirect costs.

Lump Sum Method of Accounting

Utility proposed to request reimbursement based on an agreed lump sum amount supported by a detailed cost analysis.

Initial Date
TxDOT

Initial Date
Utility

Attachment “C” Schedule of Work

Estimated Start Date: 01/03/2022, (subject to physical work restrictions prior to the issuance of environmental clearance as required by the provisions of this agreement)

Estimated Duration (days): 178 Days

Estimated Completion Date: 06/30/2022

Initial Date
TxDOT

Initial Date
Utility

Attachment "D" Statement Covering Contract Work

(ROW-U-48)
(ROW-U-48-1, if applicable)

Construction Contract:

- Utility performing with their own forces (timesheets will be required at the time of billing).
- Utility will use outside forces to perform the adjustment, complete attached ROW-U-48 or ROW-U-48-1 (joint bid).

Engineering Contract:

- Utility performing with their own forces (timesheets will be required at the time of billing).
- Utility will use consultant contract (continuing contract rate sheets or fee schedule will be required).
- TxDOT will procure utility consultant.

Initial Date
TxDOT

Initial Date
Utility



STATEMENT COVERING UTILITY CONSTRUCTION CONTRACT WORK
(AS APPEARING IN ESTIMATE)

U-Number: N/A
ROW CSJ Number: 0009-12-223
County: Rockwall
Federal Project No.: N/A

Utility ID: U00008450
District: Dallas (18)
Highway No.: IH 30

I, _____, a duly authorized and qualified representative of
City of Rockwall, hereinafter referred to as Owner, am fully cognizant of the
facts and make the following statements in respect to work which will or may be done on a contract basis as it appears in the
estimate to which this statement is attached.

It is more economical and/or expedient for Owner to contract this adjustment, or Owner is not adequately staffed or equipped
to perform the necessary work on this project with its own forces to the extent as indicated on the estimate.

Procedure to be Used in Contracting Work

- A. Solicitation for bids is to be accomplished through open advertising and contract is to be awarded to the lowest
qualified bidder who submits a proposal in conformity with the requirements and specifications for the work to be
performed. Associated bid tabulations will be provided to the State.
B. Solicitation for bids is to be accomplished by circulating to a list of pre-qualified contractors or known qualified
contractors and such contract is to be awarded to the lowest qualified bidder who submits a proposal in conformity
with the requirements and specifications for the work to be performed. Associated bid tabulations will be provided to
the State. Such presently known contractors are listed below:
1.
C. The work is to be performed under an existing continuing contract under which certain work is regularly performed
for Owner and under which the lowest available costs are developed. The existing continuing contract will be made
available to the State for review at a location mutually acceptable to the Owner and the State. If only part of the
contract work is to be done under an existing contract, give detailed information by attachment hereto.
D. The utility proposes to contract outside the foregoing requirements and therefore evidence in support of its proposal
is attached to the estimate in order to obtain the concurrence of the State, and the Federal Highway Administration
Division Engineer where applicable, prior to taking action thereon (approval of the agreement shall be considered as
approval of such proposal).
E. The utility plans and specifications, with the consent of the State, will be included in the construction contract
awarded by the State. In the best interest of both the State and the Owner, the Owner requests the State to include
the plans and specifications for this work in the general contract for construction of Highway _____
in this area, so that the work can be coordinated with the other construction operations; and the construction
contract is to be awarded by the State to the lowest qualified bidder who submits a proposal in conformity with the
requirements and specifications for the work to be performed. If this option is chosen, attach form ROW-U-48-1, the
terms of which are incorporated herein by reference.

Signature

Date

Title

Attachment “E” Utility Joint Use Agreement – (ROW-U-JUA) and/or Utility Installation Request – (Form 1082)

- Utility Joint Use Agreement (ROW–U–JUA)

- Utility Installation Review/Permit Number: DAL20211110152924

Initial Date
TxDOT

Initial Date
Utility

Attachment “F” Eligibility Ratio

Eligibility Ratio established: 100 %

- Non-interstate Highway (Calculations attached)
- Interstate Highway

ROW Utility Manual Chapter 8, Section 2

In developing the ratio, line length or number of poles is restricted to facilities located within the existing and proposed highway right of way. Facilities located outside the existing and proposed right of way limits will not be used in developing the ratio.

Please see example of eligibility ratio calculations below.

Plan Sheet or Page#	In Easement (Eligible) Existing # of Poles or LF	In Public ROW (Ineligible) Existing # of Poles or LF
1	0	0
2	84	22
3	90	385
4	238	96
Totals	412	503

Total Existing # of Poles or LF (Eligible)	412
Total Existing # of Poles or LF (Ineligible)	503
Total Existing # of Poles or LF	915
Total Existing # of Poles or LF (Eligible) divided by the Total Existing # of Poles or LF	45.03%

Initial _____ Date _____
 TxDOT

Initial _____ Date _____
 Utility

Attachment “G” Betterment Calculation and Estimate

- Elective Betterment Ratio established: %
(Calculation attached and justification below)

- Forced Betterment
(Provide supporting documentation)

- Not Applicable

Elective betterment justification statement:
N/A

Initial Date
TxDOT

Initial Date
Utility

Attachment “H” Proof of Property Interest

Supporting documentation of compensable property interest that establishes reimbursement eligibility as referenced in Texas Transportation Code §203.092.

Property interest documented through applicable affidavits and required attachments.

ROW-U-Affidavit

The roadway improvement project is designated as an Interstate Highway project; therefore, no supporting documentation of compensable interest is required.

Initial Date
TxDOT

Initial Date
Utility



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Amy Williams, P.E., Director of Public Works/City Engineer

DATE: November 15, 2021

SUBJECT: PROPOSED 2022 SANITARY SEWER CONDITION ASSESSMENT

Attachments
Contract

Summary/Background Information

Please see next page

The strategic plan associated with the City's Capacity, Management, Operations, and Maintenance (CMOM) Plan presented to the EPA requires that the City must complete a condition assessment of the sewer system within ten years. To develop this strategic initiative, staff and the firm that worked on the CMOM took the information provided through the flow monitoring study conducted in the spring of 2015. The study was divided into 37 basins that were ranked depending on how much inflow and infiltration was detected in rain events.

The strategic initiative consists of a condition assessment of evaluating of the basins that scored the lowest score in the study first. In 2021-2022, the wastewater division proposes to complete condition assessment of three basins that have a total of 115,000 feet of pipe with 450 manholes. The Professional Services Contract for the sanitary sewer condition assessment cost \$156,830.00. The funds are available in the water and sewer operating budget, sewer line repair and replacement. Assessments of these basins will include:

- Manhole inspections
- Smoke testing
- Dye flooding
- Cleaning (City)
- CCTV (City)
- Analysis of any defects
- Mapping
- Cost estimates for repair or rehab
- Data collecting
- Final report

Included in this document is the contract for council considerations for engineering services through Pipeline Analysis, LLC for \$156,830.00, and to authorize the City Manager to execute the contract.

Action Needed

Professional Services Contract
City of Rockwall
Year 5
Sanitary Sewer Condition Assessment
Flow Meter Basins
BC28A, BC28B, SC14, BC04 and BC40



City of Rockwall

October 11, 2021



PIPELINE ANALYSIS LLC
1115 Main Street
Garland, Texas 75040
800-637-0164
TBPE Firm No. F-6538

CONTRACT FOR PROFESSIONAL ENGINEERING SERVICES

THIS CONTRACT made and entered into on the date last stated below between the City of Rockwall, hereinafter called "City", and Pipeline Analysis, LLC hereinafter called "ENGINEER", acting by and through Mattie A. Engels, P.E. (Project Manager) duly authorized to so act on behalf of the ENGINEER.

WHEREAS, the CITY desires professional engineering services in connection with the Sanitary Sewer Condition Assessment of sewer on a specified portion of the City of Rockwall, Texas, hereinafter called "the PROJECT"; and

WHEREAS, the CITY has determined that the ENGINEER has experience in the area involved in the Project and is qualified to perform the work, and the ENGINEER is willing to enter into a contract with CITY to perform the engineering services desired by CITY in connection with the PROJECT.

THE CITY AND ENGINEER AGREE AS FOLLOWS:

The CITY hereby retains the ENGINEER to perform engineering services in connection with the PROJECT described above.

1. SCOPE OF SERVICES

The scope of Professional Engineering Services to be performed by the ENGINEER shall be as follows:

1.1 Approach to Project

This project will perform various field testing and inspection of the wastewater collection system within the Study Area as defined on the map included in Exhibit A and prepare a final report that recommend system repairs and estimated costs.

1.2 Detailed Scope of Services

See Exhibit A attached.

2. CITY'S RESPONSIBILITIES

So as not to delay the services of ENGINEER, the CITY shall do the following in a timely manner:

2.1 Provide Existing Data

CITY will provide to ENGINEER at no cost those sewer maps and any applicable previous reports. Existing data delivered to the ENGINEER by the CITY remains

the property of the CITY and must be returned to the CITY after completion of the PROJECT.

2.2 Provide Access

Arrange for access to, and make all provisions for, ENGINEER to perform services under this AGREEMENT.

2.3 CITY Representative

CITY designates the following person as the project representative to act as the contact person on behalf of the CITY.

Rick Sherer
Water/ Wastewater Manager
City of Rockwall
1600 Airport Road
Rockwall, TX 75087
972.772.6337

2.4 Cleaning and CCTV Inspection

CITY desires to perform the cleaning and CCTV inspection of sanitary sewers identified by Pipeline Analysis LLC. Pipeline Analysis LLC shall prepare a listing of line segments requiring internal cleaning and CCTV inspection based on field testing and inspection within the study areas. City will perform the cleaning and CCTV of the designated gravity sewers and provide Pipeline Analysis LLC the resulting database and digital video of the inspections where possible and incorporate these findings into the final report. Should the City elect not to perform these work tasks, then Pipeline Analysis LLC will undertake the required cleaning and CCTV inspection at the unit prices presented in Exhibit A Compensation.

3. SCHEDULE

3.1 Schedule

The ENGINEER'S services shall be performed in a timely manner consistent with sound professional practices. The ENGINEER will complete the work according to the schedule presented in Exhibit A.

The time limits set forth in the schedule shall include allowances for reasonable and expected review time by the CITY and approval by authorities having jurisdiction over the PROJECT, and shall not be allowed as cause for delay or adjustments to the schedule. Delays in the project critical path caused by review times by the CITY or a permitting

agency exceeding those anticipated by the ENGINEER'S schedule are cause for adjustments in the schedule. Any adjustments made to the agreed upon schedule shall be made in writing and acceptable to both parties.

The ENGINEER shall begin work immediately upon receipt of the executed CONTRACT and/or written Notice to Proceed.

3.2 Completion of Services

ENGINEER'S services under each item of the finalized Scope of Work shall be considered complete on the date when the submissions for that item have been accepted by CITY.

3.3 Changes

If the CITY requests significant modifications or changes in the Scope of Services, general scope, extent or character of the PROJECT, the time of performance of ENGINEER'S services, the various rates of compensation and schedule shall be adjusted equitably.

3.4 Written Authorization for Additional Work

Any provision in this CONTRACT notwithstanding, it is specifically understood and agreed that the ENGINEER shall not authorize or undertake any work pursuant to this CONTRACT which would require the payment of any fee, expense or reimbursement in addition to the fees stipulated in Section 4 (Payment for Services) of this CONTRACT, without first having obtained the specific written authority to do so from CITY.

4. PAYMENT FOR SERVICES

4.1 Terms

Terms used in describing the applicable method of payment for services provided by the ENGINEER shall have the meaning indicated below:

Basic Engineering Fee:

Basic Engineering Fee shall mean those expenses incurred by the ENGINEER in prosecuting the PROJECT Scope of Services.

Reimbursable Expenses

Not applicable

Additional Services

Additional services **not** covered under the Scope of Services, will be provided to the CITY on a unit price or lump sum basis. A revised written detailed scope of services for additional services will be provided with the pricing summary. Additional services must be approved by City along with a written notice to proceed.

4.2 Basis and Amount of Compensation for Basic Services

Compensation for basic services will be as shown in Exhibit A. These services will be billed monthly based on a percentage completed and will not exceed the total presented.

4.3 Basis and Amount of Compensation for Additional Services

Not applicable. No additional services are anticipated.

4.4 Partial Payments for Services

Partial fee payments may be applied for at monthly intervals, based upon statements which reflect the percentage of work completed for the various items listed under Scope of Services. These statements shall be prepared by the ENGINEER and must be verified and approved by CITY.

4.5 Delay

If ENGINEER'S design services or service during construction of the PROJECT are delayed or suspended in whole or in part by the CITY for more than one year for reasons beyond ENGINEER'S control the various rates of compensation, including Additional Services, provided for elsewhere in this CONTRACT shall be subject to equitable adjustment.

5. TERMINATION, SUSPENSIONS OR ABANDONMENT

5.1 Termination

The CITY or the ENGINEER may terminate this CONTRACT for reasons identified elsewhere in this CONTRACT. In the event such termination becomes necessary, the party effecting termination shall so notify the other party, and termination will become effective thirty (30) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause therefore, CITY shall within thirty (30) calendar days of termination remunerate ENGINEER for services rendered and costs incurred, in accordance with the ENGINEER'S prevailing fee schedule (Exhibit A). Services shall include those rendered up to the time of termination. All plans, field survey, and other data related to the PROJECT shall become the property of CITY upon

termination of the CONTRACT and shall be promptly delivered to CITY in a reasonably organized form. Should CITY subsequently contract with a new Engineer for continuation of services on the PROJECT, ENGINEER shall cooperate in providing information. No amount shall be due for lost or anticipated profits.

5.2 Suspension

If the Project is suspended by CITY for more than 30 consecutive days, the ENGINEER shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the ENGINEER'S compensation shall be equitably adjusted to provide for expenses incurred in the interruption and resumption of the ENGINEER'S services.

5.3 Abandonment

This CONTRACT may be terminated by CITY upon not less than seven (7) days written notice to the ENGINEER in the event that the Project is permanently abandoned. If the Project is abandoned by CITY for more than ninety (90) consecutive days, the ENGINEER or CITY may terminate this CONTRACT by giving written notice.

5.4 Failure to Pay

Failure of CITY to make payments to the ENGINEER in accordance with this CONTRACT shall be considered substantial nonperformance and cause for termination.

If CITY fails to make payment to ENGINEER within thirty (30) days of a statement for services properly performed, the ENGINEER may, upon fourteen (14) days written notice to CITY, suspend performance of services under this CONTRACT. Unless ENGINEER receives payment in full within fourteen (14) days of the date of the notice, the suspension shall take effect without further notice. In the event of a suspension of services under this section, the ENGINEER shall have no liability to CITY for delay or damage caused CITY because of such suspension of services.

6. GENERAL CONSIDERATIONS

6.1 Professional Standards

Services performed by the ENGINEER under this CONTRACT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. The ENGINEER shall comply with the applicable laws and rules of the current "Texas Engineering Practice Act". CITY'S approval, acceptance, use of or payment for all or any part of the ENGINEER'S services herein under or of the project itself shall in no way alter the ENGINEER'S obligations or CITY'S rights thereunder.

6.2 Progress and Performance

The provisions of this CONTRACT and the compensation to ENGINEER have been agreed to in anticipation of continuous and orderly progress through the completion of the ENGINEER'S services. Time for performance shall be extended to the extent necessary for delays due to circumstances over which the ENGINEER has no control. If the ENGINEER'S services are suspended or delayed the times of performance shall be extended to the extent of such delay or suspension. A delay or suspension shall not terminate this CONTRACT unless ENGINEER elects to terminate in accordance with the provisions of Section 5 of this CONTRACT. If a delay or suspension extends for a period of greater than one year for reasons beyond the control of the ENGINEER, the fees and rates of compensation set forth in Section 4 shall be subject to re-negotiating.

6.3 CITY Control

It is understood and agreed that CITY shall have complete control of the services to be rendered, and that no work shall be done under this CONTRACT until the ENGINEER is instructed to proceed with the work.

6.4 Independent Agent

ENGINEER and CITY agreed that ENGINEER and any officer, employee or agent of ENGINEER, in the performance of this CONTRACT shall act in an independent capacity and not as an officer, agent or employee of CITY.

6.5 Compliance with Laws

ENGINEER shall comply with all Federal, State, and local laws and ordinances in the execution of all work in connection with this PROJECT.

6.6 No Additional Work Without Authorization

Any provision in the CONTRACT notwithstanding, it is specifically understood and agreed that the ENGINEER shall not authorize or undertake any work pursuant to this CONTRACT, which would require the payment of any fee, expense or reimbursement in addition to the fee stipulated in Article 4 of this CONTRACT, without having first obtained specific written authority therefore from CITY.

6.7 Assignment & Subcontracting

This CONTRACT shall not be assigned or subcontracted in whole or part without the written consent of CITY.

6.8 Indemnification

ENGINEER, its officers, agents and employees agree to indemnify, hold harmless, and defend CITY, at ENGINEER'S cost, its officers, agents, and employees from and against any and all claims or suits for injuries, damages, loss, or liability of whatever kind of character, arising out of or in connection with the performance by the ENGINEER of those services contemplated by the CONTRACT, based upon negligent acts or omissions of ENGINEER, its officers, agents, employees, consultants and subcontractors, whether or not caused solely by the ENGINEER, its officers, agents, employees, consultants or subcontractors or jointly with any other party.

ENGINEER agrees that he is solely responsible for the safety of himself and his employees in the performance of this CONTRACT and agrees to indemnify and hold harmless CITY, its officers and agents from and against any liability arising from the personal injury or death of the ENGINEER or the employees of the ENGINEER arising out of or in connection with this CONTRACT.

6.9 Insurance

ENGINEER shall secure and maintain insurance that will protect him from claims under the Worker's Compensation Act (statutory amounts).

ENGINEER shall secure and maintain Commercial General Liability Insurance that will protect him from claims for bodily injury, death or property damage which may arise from the performance of his services under this CONTRACT, written on an occurrence basis, in the following amounts:

For engineering design contracts for more than \$10,000.00, insurance in an amount not less than \$500,000 per occurrence and \$1,000,000 annual aggregate for bodily injury or death and property damage. ENGINEER shall maintain Comprehensive Automobile Liability Insurance covering all owned, non-owned, and hired vehicles with combined single limit coverage of \$1,000,000 for bodily injury, death or property damage.

ENGINEER shall maintain, at no expense to CITY, a professional liability (errors and omissions) insurance policy placed with a company rated at least A-/VII by Best's Key Rating Guide, authorized to do business in Texas. This coverage must be maintained for at least two (2) years after the PROJECT is completed. Coverage must be written on an occurrence basis. However, at its sole discretion, the CITY may accept coverage written on a claims-made basis if the policy provides for a retroactive date equivalent to the inception date of the CONTRACT or earlier, maintained during the full term of the CONTRACT. The minimum limits of coverage shall be in the following amounts:

All policies, except Worker's Compensation and Professional Liability, shall name the CITY as additional insured. All policies shall contain a waiver of subrogation in favor of the CITY and shall require the giving of written notice to CITY at least thirty (30) days

prior to cancellation, non-renewal or material modification of any policies, evidenced by return receipt of United States Certified Mail. ENGINEER shall furnish CITY with copies of said policies or certificates evidencing such coverage.

6.10 Property

All documents, including drawings, field notes, surveys, tracings, calculations, computer input and output, digital or computer files, etc., prepared by the ENGINEER pursuant to this contract shall become the property of CITY. The ENGINEER may retain copies of all documents. Any reuse of the documents shall conform to The Texas Engineering Practice Act.

6.11 Governing Law

This CONTRACT has been made under and shall be governed by the laws of the State of Texas. The parties agree that the performance and all matters related thereto shall be in Rockwall, Texas.

7. DOCUMENT EXECUTION

IN WITNESS WHEREOF, the parties have executed this CONTRACT the _____ day of _____, 2021.

**City of Rockwall, Texas
Rockwall City Hall
385 South Goliad
Rockwall, Texas 75087**

By: _____

Date: _____

**ENGINEER
Pipeline Analysis, LLC
1115 Main Street
Garland, Texas 75040
(800)637-0164
(972)479-0659 FAX**

By: Mattie A. Engels
Mattie A. Engels, P.E. (Vice-President)

Date: October 11, 2021

Exhibit A

Detailed Scope of Services

The purpose of this project is to perform a condition assessment on a portion of the City of Rockwall wastewater collection system and identify system defects that contribute to wet weather infiltration/inflow. The following summarizes the project tasks and approach to the project:

TASK 100 MOBILIZATION

Mobilize project team and coordinate startup. Establish personnel assignments and responsibilities. Inventory equipment needs and order expendable supplies. Review all relevant existing materials, previous reports, etc. developed for or by the City of Rockwall.

Deliverable:

1. Delivery of equipment and personnel
2. Work maps with delineated boundaries

To Be Provided by City:

1. Previous studies for the service area to be investigated
2. Sewer maps
3. Previous inspection data, where available
4. Access for placement of equipment and personnel
5. Copies of all applicable reports, maps and historical data for the study area at no cost to ENGINEER
6. As-built drawings, sewer key maps, street plans, electronic aerial photographs if available and if requested at no cost to ENGINEER

TASK 200 MANHOLE/PIPE INSPECTION

Manholes can be a significant source of extraneous infiltration/inflow and thereby reduce system wet weather capacity. For this reason, each manhole within the study area is inspected. For the study area designated, field inspection crews will perform an inspection of manholes. The data gathered during this phase of the project will be used to prioritize manholes for rehabilitation and establish the base data necessary to accurately determine mainline sewer rehabilitation alternatives and costs. Other important deliverables resulting from this work task are the updating of the collection system map, determination of debris levels in pipes and verification of pipe sizes. This information is critical in preparing subsequent rehabilitation plans, cleaning requirements to restore capacity and updating of the system maps.

Inspection personnel will use digital cameras during the inspection of all manholes on this project. All photographs will be included in the field inspection computer database so that a permanent electronic record can be maintained. During inspection, each of the following types of information will be obtained to establish the condition and prioritize least cost repairs:

1. Study Area Designation
2. Manhole/Cleanout ID
3. Inspection Status (buried, could not locate, no access, etc.)
4. Address and Sub-meter GPS coordinate (x,y) of manhole
5. Surface cover, grade, type of cover (paved, yard, etc.)
6. Material of construction – brick, concrete, etc.
7. Area and Internal photo of manhole
8. All incoming and outgoing pipe depths from rim to invert
9. All incoming and outgoing pipe digital photographs
10. Outgoing pipe length
11. Defects – Active, Evidence or No Infiltration/Inflow with digital photographs
12. Field corrections to collection system map

Upon completion of the manhole inspection, a condition assessment will be prepared for inclusion in the final report that will include:

1. Documentation with summary of field observations
2. List of manholes/lines requiring repair/rehabilitation
3. Digital photos
4. Documentation for preparing manhole rehabilitation quantities
5. Field updated map(s)
6. Prioritized Manhole Repair Recommendations and Cost Estimates

To Be Provided by City:

1. Current collection system map
2. Access (if requested) to manholes that are buried or could not be opened.
3. Assistance in locating assets (if requested)

Measurement of Payment:

Payment for this work task shall be a unit price for each manhole documented. Those manholes that are located, but buried or could not be opened will be noted and a list provided to the City. Manholes that could not be located using metal detectors or probes will be listed as Could Not Located (CNL). CNL manholes will not be billed. The City will provide replacement covers at no cost should a cover be broken while attempting opening.

TASK 300 SMOKE TESTING/PUBLIC AWARENESS/DATA ENTRY & ANALYSIS

Smoke testing will provide detailed information on wet weather inflow sources for the study area. In order to identify defects in the lines, a non-toxic smoke will be forced into the sewer by high-capacity blowers. Data documentation includes measurements from two permanent points and will be sufficient to establish the location of each defect and determine the best repair method and priority. Color digital photographs will be taken to document each defect during the smoke test.

Forty-eight (48) hours prior to testing, door hangers will be used to notify residents. A local telephone number will be provided for those individuals with questions or for anyone requiring special assistance. Each day the fire department will be notified of the crew location since smoke may enter homes through defective plumbing.

To Be Provided by City:

1. Review and approval of Notice to Residents
2. Letter of introduction to be carried by field crews
3. Previous City smoke testing data, if any

Deliverables:

1. Defects listing and database
2. Defect location sketch
3. Digital photographs
4. Smoke Notification Flyers and Notification of Residents
5. Priority ranking of defects (both private and public sector)
6. Repair methods and estimated costs

**Review
Draft**



City of Rockwall

For the next few days, inspection crews will conduct a physical survey of the wastewater collection system. Pipeline Analysis will perform this study, which involves opening manholes in the streets and backyard utility easements. Information gained from this study will be used to repair and improve the wastewater collection system.

One important task of the survey will be **smoke testing** of sewer lines to locate breaks and defects in the system. During this testing, white smoke will exit through vent pipes on the roofs of homes and through sewer line breaks. **The smoke is non-toxic, leaves no residue, and creates no fire hazard.** The smoke should not enter your home unless defective plumbing exists or drain traps are dry.

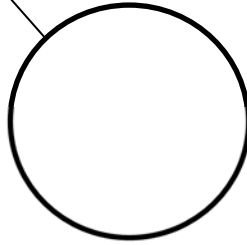
If you have seldom-used drains, please pour a gallon of water in the drain to fill the drain trap. This procedure will help prevent the possibility of smoke entering your living areas through those drains.

Field crews will perform testing of all sewers in the area. **At no time will field crews have to enter your business or residence.**

Your cooperation is appreciated. Should you have any additional questions concerning this study or if you desire special assistance, please phone:



**Review
Draft**



City of Rockwall

**PRUEBAS DE HUMO
AVISO A LOS RESIDENTES**

Para los próximos días, los equipos de inspección llevará a cabo una inspección física de la red de alcantarillado. El Análisis de Pipeline Company, LLC llevará a cabo este estudio bajo contrato con la ciudad de Rockwall. El proyecto consiste en la apertura de pozos en las calles y servidumbres domésticas de servicios públicos. La información obtenida de este estudio se utilizarán para reparar y mejorar el sistema de recolección de aguas residuales.

Una tarea importante de la encuesta serán las pruebas de humo de líneas de alcantarillado para localizar roturas y defectos en el sistema. Durante esta prueba, el humo blanco saldrá a través de tubos de ventilación en los techos de las casas y por medio de saltos de línea de alcantarillado. El humo no es tóxico, no deja ningún residuo, y no crea ningún peligro de incendio. El humo no debe entrar a su casa a menos que exista o plomería defectuosa sifones están secos.

Si ha utilizado muy pocas veces-piso, lavabo, bañera o ducha desagües, por favor, vierta un litro de agua en el desagüe para llenar el sifón. Este procedimiento le ayudará a prevenir la posibilidad de humo introducción de sus áreas vivas a través de los desagües.

El personal de campo se realizan pruebas de todos los desagües de la zona. En ningún momento desplegar los equipos tiene que introducir su negocio o residencia.

Su cooperación es apreciada. Si tiene alguna pregunta adicional sobre este estudio o si desea recibir asistencia especial, por favor llame al:

972-479-0655



Task 400 Dye Flooding

Pipeline Analysis staff will provide a listing of recommended location(s) for dye water flooding. Dye water flooding can be anticipated to assist in the locating of specific defects during CCTV inspection of specific defects. Non-toxic dye may be introduced as a powder or liquid. Cross-connections, roof drains and area drains that are suspected of being connected to the sanitary sewer may be positively identified using the dye tracer procedure. Internal CCTV inspection, while the dye flooding is taking place, will determine the exact source of the 'cross-connection'.

To Be Provided by City:

1. Cleaning and CCTV crew
2. Water for dye flooding
3. Coordination with Pipeline Analysis

To Be Provided by Pipeline Analysis:

1. Locations for dye water flooding
2. Liquid or powder dye for use by the City
3. Field Forms to be used to document results
4. Documentation of results

TASK 500 & 600 PREPARATORY CLEANING AND CCTV INSPECTION

Task 500 and 600 will be performed by City crews. Pipeline Analysis staff will prepare a detailed listing of line segments recommended for cleaning and CCTV inspection. Preparatory cleaning shall consist of hydraulic jet cleaning to facilitate the internal CCTV inspection. The City of Rockwall staff will perform this phase of the work in coordination with Pipeline Analysis.

To Be Provided by City:

1. Preparatory cleaning of CCTV pipe segments
2. CCTV inspection of recommended pipe segments
3. Provide CCTV video including:
 - a. Date inspected
 - b. Line segment inspected
 - c. Location (Address) and Asset ID
 - d. Digital video of inspection and written logs of work performed

To Be Provided by Pipeline Analysis:

1. Review video and logs not to exceed 15% of study area linear footage
2. Summary of line segments cleaned and CCTV'd
3. Prepare prioritized mainline rehabilitation plan and estimated costs
4. Incorporate Cleaning and CCTV inspection results into final report

TASK 700 ADMINISTRATION AND PROJECT MANAGEMENT

This task includes internal project administration and oversight including scheduling, budget, quality assurance and control meetings and reporting. The project schedule will be reviewed and milestones for the completion of each task will be assigned. The project schedule will be reviewed and updated monthly to ensure that all tasks are completed in a timely and organized fashion.

Management work items include:

1. Field crew supervision and project planning
2. Obtain initial maps for field use and verification
3. Prepare cleaning, CCTV and dye flooding documentation for City
4. Prepare monthly billings
5. Schedule equipment and order supplies

Major system deficiencies that are identified during the field inspections that if corrected would result in significant reduction in I/I or is deemed to be of a safety concern will be recorded and forwarded as soon as possible to City's designated project manager. Likewise, should City undertake a major repair within the study area, they will immediately notify ENGINEER to determine the impact on data analysis.

Deliverables:

1. Monthly invoice
2. Status reports
3. Project schedule and updates

To Be Provided by City:

1. All reports or materials deemed necessary by ENGINEER and identified during the course of the project that is not specifically stated above will be provided at no additional cost to the ENGINEER

TASK 800 DEFECT ANALYSIS/ REHABILITATION PLAN/FINAL REPORT

This project will generate a considerable amount of data that will require proper entry and quality control. Data collection will include the following:

1. All collected defect data will be correlated between sources to address duplicate defects that were identified by different testing methods. Identify duplicate defects to ensure multiple rehabilitation methods are not recommended for the same defect.
2. Much of the baseline data required for rehabilitation decision is gathered during the normal course of field investigations. For example, "area photos" are taken of each manhole in the direction of the outgoing pipe. This photograph not only shows the location of the manhole but also provide data on the line cover and easement conditions.
3. Rehabilitation recommendations will consider the best repair for the particular asset (manhole, pipeline, etc.) being rehabilitated. A long-term least-cost solution may have an initial higher cost, but provide a higher level of service and lower operating and maintenance cost. The supporting data will be provided in electronic format.

To Be Provided by City:

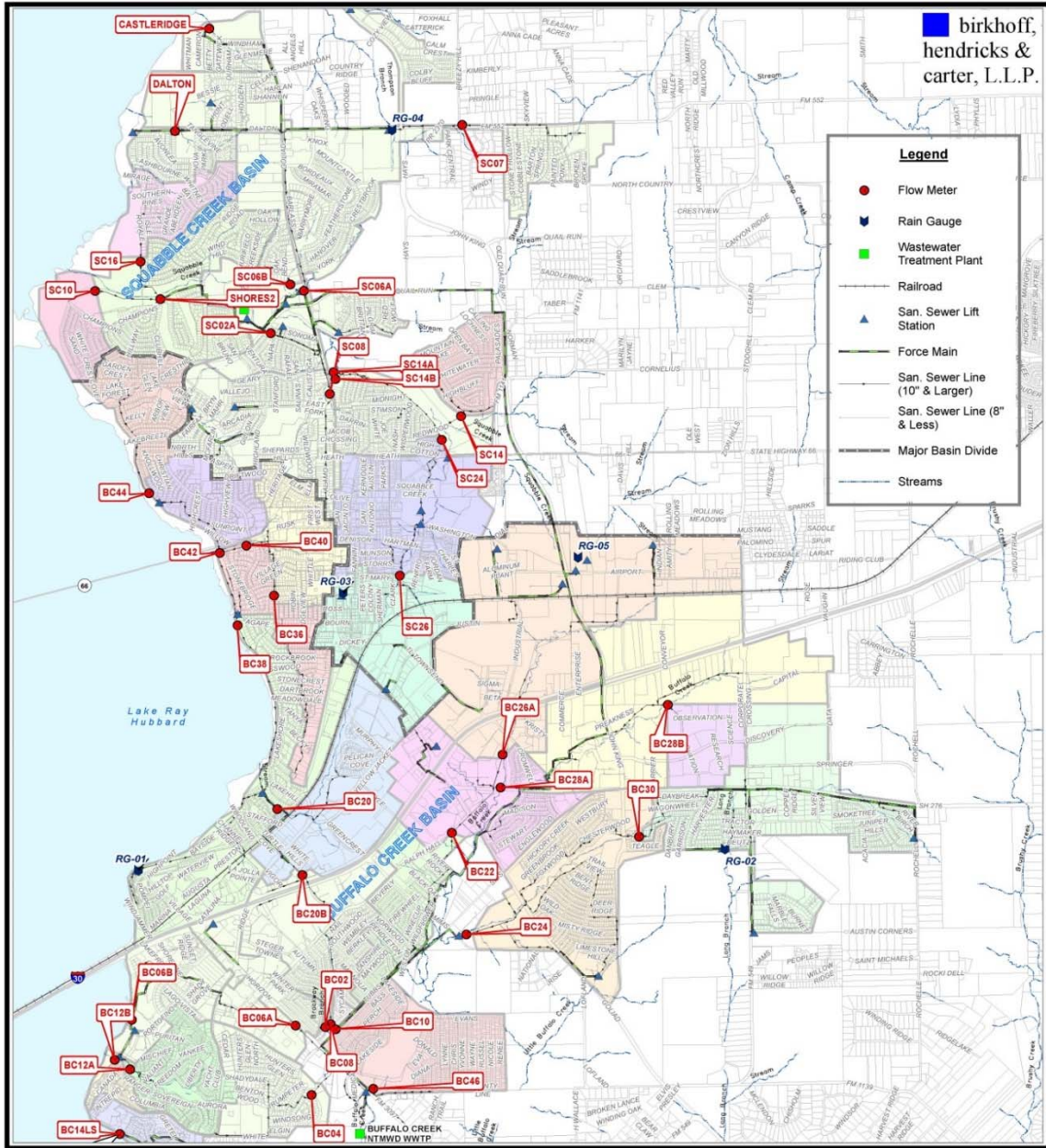
- Complaint records and SSO database
- Review and comments on rehabilitation methods, cost estimates, and alternatives
- Engineer will provide electronic files of the City corrected GIS maps in ArcGIS. The City will have the final authority to accept the changes and update their master GIS map files.

Prepare and submit a Final Report that includes the following:

- Executive Summary
- Description of all tasks
- Manhole and pipe inspection summary/inventory
- Manhole defect summary
- Pipeline defect summary
- Service lateral defect summary
- Smoke test data summary
- Dye Flooding and CCTV data summary
- Recommendations and Cost Estimates for Private and Public sector repairs

Prepare and submit three (3) Final Reports and electronic database.

Study Area Map Flow Meter Basins BC28A, BC28B, SC14, BC04 and BC40



	<p>City of Rockwall 2015 WASTEWATER FLOW MONITORING STUDY</p>	<p>Flow Meter & Rain Gauge Overview Map</p>
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C:\Projects\Rockwall\2015113 WW Flow Monitoring\Report Figures.mxd

Condition Assessment Priority Ranking



City of Rockwall

10 Year Condition Assessment CMOM Program Priority Ranking of Meter Basins



2015 Wastewater Flow Monitoring Study - Birkhoff, Hendricks & Carter, LLP

Completed
Proposed

Meter Basin	RDII (mg)	Pipe (l.f.)	Manholes	RDII/Linear Foot	RDII Ranking	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
SC26	0.51	21,915	66	23.27	1	21,915										
BC20B	1.76	119,423	362	14.74	2			119,423								
BC06A	0.33	22,548	232	14.64	3		22,548									
SC06B	0.11	8,527	26	12.90	4		8,527									
BC10	0.49	42,097	128	11.64	5		42,097									
BC08	0.48	45,259	137	10.61	6			45,259								
BC46	0.50	48,992	148	10.21	7			48,992								
BC38	0.39	39,947	121	9.76	8			39,947								
BC42	0.25	26,060	79	9.59	9		26,060									
SC08	0.46	48,246	146	9.53	10					48,246						
SC14AB	0.31	33,192	101	9.34	11					33,192						
SC24	0.37	45,123	137	8.20	12					45,123						
BC28A	0.22	30,660	156	8.11	13						30,660					
BC28B	0.06	7,920	23	7.58	14						7,920					
SC14	0.11	23,095	80	7.47	15						23,095					
BC04	0.18	24,645	80	7.41	16						24,645					
BC40	0.22	28,400	110	7.14	17						28,400					
BC20	0.15	33,920	132	6.59	18							33,920				
BC44	0.21	31,705	108	6.40	19							31,705				
SC02A	0.31	33,820	135	6.33	20							33,820				
BC02	0.12	15,760	58	6.17	21							15,760				
SC10	0.06	10,535	33	5.37	22								10,535			
BC26A	0.29	49,005	156	4.87	23								49,005			
BC30	0.31	53,190	185	4.25	24								53,190			
SC16	0.08	19,700	71	3.94	25									19,700		
BC12B	0.05	8,690	46	3.76	26										8,690	
SHORES2	0.20	57,570	176	3.62	27									57,570		
BC12A	0.16	38,885	175	3.46	28									38,885		
BC24	0.16	51,315	157	3.06	29										51,315	
BC06B	0.06	19,900	100	2.98	30										19,900	
BC14	0.10	20,925	85	2.93	31										20,925	
DALTON	0.05	14,180	58	2.69	32										14,180	
BC22	0.11	39,755	159	2.44	33											39,755
SC06A	0.10	62,130	199	2.31	34											62,130
BC36	0.05	22,340	68	2.24	35											22,340
SC07	0.05	22,860	71	2.15	36											22,860
CASTLERIDGE	0.02	11,155	34	1.73	37											11,155
Total		1,233,389	4,337			21,915	99,232	119,423	134,198	126,561	114,720	115,205	112,730	116,155	126,165	147,085

Study Area Quantities

450 Manholes
115,000 Linear Feet Mainline

Compensation Sewer System Evaluation Survey

Sanitary Sewer Evaluation Survey Year 5 Basins BC28A&B, SC14, BC04, BC40

Task	Description	Estimated Quantity	Unit Price	Total
100	Mobilization	L.S.	L.S.	\$ 1,800
200	Manhole/Pipe Inspection -(100%)	450	\$ 115.00	\$ 51,750
300	Smoke Testing, Public Awareness, Data Entry & Analysis (100%)	115,000	\$ 0.62	\$ 71,300
400	Dye Flooding	12	\$ 250.00	\$ 3,000
500*	Preparatory Cleaning	0	\$ 2.53	\$ -
600*	CCTV Inspection	0	\$ 1.58	\$ -
700	Admin.,Project Mgt.	L.S.	L.S.	\$ 3,965
800	Defect Analysis/Rehab.	L.S.	L.S.	\$ 4,550
900	Database, Cost Estimates, Mapping, Final Reports	L.S.	L.S.	\$ 20,465
Total Not To Exceed (City performs Cleaning & CCTV)				\$ 156,830

Project Schedule Sewer System Evaluation Survey

Task	Description	Month									
		1	2	3	4	5	6	7	8	9	10
100	Mobilization										
200	Manhole/Pipe Inspection -(100%)										
300	Smoke Testing, Public Awareness, Data Entry & Analysis (100%)										
400*	Dye Flooding										
500*	Preparatory Cleaning										
600*	CCTV Inspection										
700	Admin.,Project Mgt.										
800	Defect Analysis/Rehab.										
900	Database, Cost Estimates, Mapping, Final Reports										

*Note: By City of Rockwall



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Honorable Mayor and City Council

CC: Mary Smith, City Manager
Joey Boyd, Assistant City Manager

FROM: Travis Sales, Director of Parks, Recreation and Animal Services

DATE: November 15, 2021

SUBJECT: Interlocal Agreement for Animal Control Services

The City of Rockwall performs animal control services for the Cities of Rockwall, Heath and Rockwall County. The City of Rockwall originally entered into an agreement for animal control services with Rockwall County in July 1996. Since then, the City has constructed a new animal adoption center and shelter, privatized the operations of the shelter, expanded its service area through growth of the city, and changed certain fees related to providing animal control services. This updated agreement defines the types of animals that will be received from the County at the shelter and further specifies the services the City will provide to Rockwall County.

The Interlocal Agreement for Animal Control Services expires November 2021. Staff reviewed the agreement and made one minor change in Section III, City Obligations, Item B, by defining what a county emergency is related to. The agreement went to the Rockwall County Commissioners Court on November 9, 2021 and was signed and approved by the court.

Consider authorizing the City Manager to execute an agreement between the City of Rockwall and Rockwall County for Animal Control Services.

INTERLOCAL AGREEMENT FOR ANIMAL CONTROL SERVICES

THE STATE OF TEXAS

COUNTY OF ROCKWALL

THIS AGREEMENT is made and entered into by and between **ROCKWALL COUNTY, TEXAS**, (hereinafter referred to as "County") and the **CITY OF ROCKWALL, TEXAS**, a Texas Municipality (hereinafter referred to as "Client" or "City").

I. RECITALS

WHEREAS, CHAPTER 791 of the TEXAS GOVERNMENT CODE, also known as the INTERLOCAL COOPERATION ACT, authorizes all local governments to contract with each other to provide a governmental function or service that each party to the contract is authorized to perform individually and in which the contracting parties are mutually interested, such as animal control assistance and public health and welfare; and

WHEREAS, the City of Rockwall is a Home Rule municipality organized under the laws of Texas and is authorized to enter into this Agreement pursuant to the Texas Local Government Code; and

WHEREAS, Rockwall County is a political subdivision of the State of Texas, duly organized and functioning in accordance with the laws of the State of Texas; and

WHEREAS, the County and the City represent that each is independently authorized to perform the functions contemplated by this Agreement; and

WHEREAS, City operates and performs Animal Control Services, as defined herein, for the purpose of reducing general animal control problems in the City, including, but not limited to, protecting its citizens from the dangers and problems associated with free roaming animals; and

WHEREAS, the City and County entered into an Interlocal Agreement in July 1996 outlining the duties and responsibilities of the City in performing certain Animal Control Services in the County per the request of the County; and

WHEREAS, County and City wish to continue the services under the original Interlocal but have determined a need to update the original agreement because the County still has a need for such Animal Control Services; and

WHEREAS, each party anticipates sufficient funds available from current revenues to perform the functions contemplated by this Agreement; and

WHEREAS, both the County and the City find it mutually desirable to enter into this Agreement.

NOW, THEREFORE in consideration of the mutual benefits and promises each to the other made herein, the parties named above do hereby agree as follows:

II. DEFINITIONS

- A. Animal(s): “Animal(s)” shall mean domesticated dogs and cats.
- B. Animal Control Authority: “Animal Control Authority” shall mean the City of Rockwall Animal Control Department. The terms “Animal Control Authority” and “Animal Control Department” are synonymous.
- C. Animal Control Personnel: “Animal Control Personnel” shall mean any employee of the City of Rockwall Animal Control Department.
- D. Animal Control Services: “Animal Control Services” shall mean the specific services provided by the City of Rockwall Animal Control Department in response to County-Reported Animal Calls that are necessary to effectively carry out an animal control program for the County.

Animal Control Services shall include: the housing and final, humane disposition of stray, unrestrained, homeless, abandoned, or unwanted animals that either the County transports to the City or is picked up by the City at the request of the County.

Animal Control Services shall NOT include the removal of deceased animals from areas within the County’s jurisdiction

- E. Animal Shelter: “Animal Shelter” shall mean the City of Rockwall owned facility located at 1825 Airport Rd. or any location designated by the City Manager or designee in the event of an emergency.
- F. Unincorporated County Areas: “Unincorporated County areas” shall mean any address or location within Rockwall County that is NOT located within another jurisdictional boundary of any duly recognized municipality.
- G. Dangerous Wild Animal: “Dangerous Wild Animal” shall mean animals as defined by the Texas Health and Safety Code, Chapter 822. Specific examples that may apply locally would include but not limited to cougar, bobcat, lynx, coyote, or any hybrid listed in Section 822.101.

III. CITY'S OBLIGATIONS

- A. City agrees to provide specific Animal Control Services to County occurring within the areas of the County outside any municipal city limits.
- B. The City will confirm at least one (1) Animal Control Personnel in response to a County request for Animal Control Services, so long as there is at least one (1) Animal Control Personnel “on duty”. If there is no Animal Control Personnel on duty, the City dispatch will notify County that there are no personnel available to accept the animal. In that event, County may determine if the call is an emergency and notify the City’s Animal Control Supervisor of the emergency call. The Animal Control supervisor, at his/her sole discretion, can decide to provide at least one (1) Animal Control Personnel to respond to the emergency call. Emergency calls are defined as follows:
 - Animal bites and scratches from animals without an owner.
 - Aggressive animals without an owner.
 - Public safety arrest that leaves an animal without supervision.
- C. City will respond only to calls directly reported by the County.
- D. City agrees to accept all captured “animals” transported to the City’s facility by Animal Control Personnel. Wild animals will not be accepted by the City and should be released back into their natural habitat by County or City if they have not caused a bite to a human.

IV. COUNTY’S OBLIGATIONS

- A. County agrees to receive all calls for Animal Control Services from citizens in the County’s jurisdiction to determine if Animal Control Services are needed. If animal control is needed, the County will contact Rockwall Police dispatch. County shall not direct or advise citizens to call the City for Animal Control Services.
- B. County shall fully cooperate with City in the provision of Animal Control Services, including but not limited to, furnishing: any and all information in its possession about the ownership of a suspected rabid Animal, including Rabies Vaccination Certificates maintained by any department of the City; any history of the Animal; the name and address of any person reporting an Animal bite or scratch; the name and address of any possible victims of an Animal bite or scratch; and the name and address of any person believed to own an Animal which the County has called the City to house.
- C. County agrees to transport all Animals in an approved, properly functioning live animal cage prior to admittance into the City’s Animal Shelter or County designated Veterinary Clinic; which includes but is not limited to, transporting all animals to a veterinary office if medical attention is needed and securing animal until medical assistance is available to assist.
- D. County agrees to transport all Animals in an approved, properly functioning live animal cage prior to admittance into the City’s Animal Shelter.

- E. County agrees to pay all fees associated with the impoundment or final disposition of any animal per this Agreement.
- F. The County shall be responsible for any veterinarian bills incurred regarding County animals that are transferred to a County approved Veterinary Clinic, who require immediate medical attention prior to transporting the animal to the City's Animal Shelter. All required billing and treatment communications shall be transmitted directly from the veterinarian to the County.

V. CONSIDERATION

- A. In consideration for the City's performance of the duties listed herein, the County agrees to pay the City for the services, as delineated in this Agreement, according to the fee schedule attached hereto as Exhibit A. Such fee schedule may be amended by the City through its annual budget process. City shall provide a copy to the County of any fees adjusted per the City's budget.
- B. The fee schedule in Exhibit A only applies to requested services upon intake and does not reflect specific services required for the final disposition of any Animal after intake. County shall pay actual costs for the disposition of any animal.

VI. DEFAULT

- A. In the event County fails to: (i) pay all costs set forth in Article V above, or (ii) perform its obligations as set forth in Article IV, the City shall give County written notice of default with an opportunity to cure such default within thirty (30) days. If County fails to cure such default during the 30-day cure period, the Agreement shall terminate and County shall assume responsibility for its own animal control operation.
- B. In the event City fails to perform its obligations as set forth in Article III, the County shall give City written notice of default with an opportunity to cure such default within thirty (30) days. If City fails to cure such default during the 30-day cure period, the Agreement shall terminate and County shall assume responsibility for its own animal control operation

VII. TERMINATION AND RENEWAL

- A. This Agreement shall be effective from the date last signed below, through September 30, 2023. This Agreement shall be renewed annually thereafter for additional one (1) year terms to run from October 1st to September 30th. The Agreement will be renewed upon full review of the Services provided herein and upon written approval by both parties.
- B. This Agreement may be terminated by either party upon sixty (60) days written notice to the other party. All costs and liabilities incurred by the City on behalf of the County prior to the termination shall be the responsibility of the County.

VIII. INDEMNITY

Subject to the limitations as to liability and damages in the Texas Tort Claims Act and without waiving its governmental immunity, each Party agrees to hold harmless each other, its governing board, officers, agents and employees for any liability, loss, damages, claims or causes of action caused or asserted to have been caused directly or indirectly by any other Party to this Agreement, or any of its elected officials, officers, agents or employees, or as the result of its performance, or any of its officers, agents or employees, under this Agreement.

IX. INDEPENDENT CONTRACTOR

- A. The City shall be responsible for the Animal Control Services contemplated under this Agreement. The City shall supply materials, equipment, tools, transportation, and labor required for or reasonably incidental to the performance of Animal Control Services. The City shall have ultimate control over the execution of the work under this Agreement. The City shall have the sole obligation to employ, direct, control, supervise, manage, discharge, and compensate all of its employees.
- B. The City shall have full authority for the final disposition of any animal submitted by County.

X. GENERAL PROVISIONS

- A. The parties intend for the various provisions of this Agreement to be severable so that the invalidity, if any, of any one section (or more) shall not affect the validity of the remaining provisions or sections.
- B. This document may be executed in any number of original signature counterparts, each of which shall for all purposes be deemed an original, and all such counterparts shall constitute one and the same document.
- C. Each party has the full power and authority to enter into and perform this Agreement, and the person signing this Agreement on behalf of each party has been properly authorized and empowered to enter into this Agreement. The persons executing this Agreement hereby represent that they have authorization to sign on behalf of their respective entity.
- D. This Agreement shall be interpreted in accordance with the laws of the State of Texas and venue shall be in Rockwall County, Texas.
- E. Any notice required under the provisions of this Agreement shall be in writing and delivered in person or deposited in the United States Mail, registered or certified, return receipt requested. Any such notice must be addressed to the following addresses. Any notice shall be deemed received three days after the date of deposit in the United States

Mail, unless proof is offered to the contrary. Unless otherwise provided in this Agreement, all notices shall be delivered to the following addresses:

City of Rockwall
385 S. Goliad St
Rockwall TX, 75087

Rockwall County
101 E Rusk St
Rockwall, TX, 75087

- F. Amendment: This Agreement may not be amended except by written instrument specifically referring to this Agreement and signed by the parties hereto.
- G. Binding Agreement: This Agreement has been duly executed and delivered by both parties and constitutes a legal, valid, and binding obligation of the parties. Each person executing this Agreement on behalf of each party represents and warrants that they have full right and authority to enter into this Agreement.
- H. Joint Venture and Agency: The relationship between the parties to this Agreement does not create a partnership or joint venture between the parties. This Agreement does not appoint any party as agent for the other party.
- I. Approval by Governing Bodies. This Agreement has been approved by the governing bodies of the City and of the County.
- J. Payment from Current Revenues. Each Party paying for the performance of governmental functions or services must make those payments from current revenues available to the paying Party.
- K. Entire Agreement: This Agreement contains the entire agreement between the parties and correctly sets forth the rights, duties, and obligations of each to the other as of the Effective Date. Any oral representations or modifications concerning this Agreement will be of no force or effect excepting a subsequent written modification executed by both parties.

EXECUTED TO BE EFFECTIVE this _____ day of _____, 2021.

ROCKWALL COUNTY, TEXAS

By: 

County Judge

CITY OF ROCKWALL, TEXAS

By: _____

City Manager

ATTEST:

City Secretary

EXHIBIT A

FEE SCHEDULE:

- A. The City shall bill the County at a rate of forty dollars (\$40) per hour to defray the costs of resources and employee time utilized. There will be a minimum of two (2) hour charge if an officer is called out after regular business hours. For purposes of this agreement, regular business hours shall be 8:00 a.m. to 5:00 p.m., Monday through Friday.
- B. A thirty dollar (\$30) impound fee, for the first 24-hour period, will be paid by the owner of each animal released from the shelter to the owner, plus ten dollars (\$10) per day per animal for each additional 24-hour period. This fee applies to Rockwall County residents within unincorporated areas of the County as defined by this agreement. All others shall comply with the City and Animal Shelter's adopted policies.
- C. The County shall pay ten dollars (\$10) per day to the City for each "animal" received from the County for impoundment. This fee shall NOT apply to the first 200 "animals" received on an annual basis. Invoices are based on net 30 days payment.



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: Z2021-043; SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION AT 601 KERNODLE STREET

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Residential Plot Plan
Building Elevations
Survey
Architectural Elements of Surrounding Homes
Housing Analysis
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Kenneth A. Selden on behalf of Johnathan Brown for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.426-acre tract of land identified as a portion of Lot 3, Block B, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 601 Kernodle Street, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Kenneth Selden
CASE NUMBER: Z2021-043; *Specific Use Permit (SUP) for a Residential Infill for 601 Kernodle Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Kenneth A. Selden on behalf of Johnathan Brown for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.426-acre tract of land identified as a portion of Lot 3, Block B, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 601 Kernodle Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1911 based on the May 16, 1911 Sanborn Map. At some point prior to May 16, 1911, the subject property was platted with the F & M Addition, and is currently identified as a portion of Lot 3, Block B, F & M Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to a Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. On January 8, 2015, the Board of Adjustment passed an order to approve a variance [Case No. BOA 2015-1-V] in order to reduce the front yard building setback from 20-feet to 15-feet for the purpose of allowing a single-family home to be constructed on the subject property. On February 19, 2015, the Historic Advisory Preservation Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2015-003] to allow for the construction of a single-family home on the subject property, which is a *Non-Contributing Property* situated within the Old Town Rockwall (OTR) Historic District.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 601 Kernodle Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are six (6) parcels of land (*i.e. 607, 703, 705, 803, 805, & 807 Kernodle Street*) that are developed with single-family homes and zoned Single-Family 7 (SF-7) District. Beyond this is Heath Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Kernodle Street, which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this there are multiple single-family residential lots zoned Single-Family 7 (SF-7) District. These properties are mostly developed with single-family homes. Beyond this is Austin Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Margaret Street, which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. This is followed by multiple single-family residential lots zoned Single-Family 7 (SF-7) District. These properties are mostly developed with single-family homes. Beyond this is Williams Street, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is N. Fannin Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple single-family residential lots zoned Single-Family 7 (SF-7) District. These properties are mostly developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the F & M Addition, which has been in existence since prior to 1911, consists of approximately 64 lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Kernodle Street, Margaret Street, N. Fannin Street and Williams Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Kernodle Street, Margaret Street, N. Fannin Street and Williams Street	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes located along Kernodle Street are oriented toward Kernodle Street	The front elevation of the home will face onto Margaret Street.
Year Built	1885-2006	N/A
Building SF on Property	1,008 SF – 2,359 SF	3,400 SF
Building Architecture	Single-Family Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated Between 15-Feet and 20-Feet	20-Feet along Kernodle and 15-feet along Margaret
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Hardie Board Siding and Brick.	Combination of Cementitious Siding and Brick Masonry Wainscot
Paint and Color	Yellow, Tan, Brown, White, Blue, Green, and Red	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Asphalt Composite Shingle
Driveways/Garages	The majority of the driveways are in the front of the home and visible from Kernodle Street; however, a few of the homes have driveways located in the rear yard. Only a few of the homes have enclosed garages.	The proposed home will have a garage on the north side of the home and will not be visible from the street.

The proposed single-family home meets all of the zoning requirements for a property located in a Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Kernodle Drive, Margaret Street, Williams Street and N. Fannin Street with the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 22, 2021, staff mailed 82 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received three (3) notices from property owners within the notification area in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-0, with Commissioners Moeller and Thomas absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22021-043

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ \$215.00
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 601 KERNODLE ST. LOT PORTION OF BLOCK 3
 SUBDIVISION FARMERS AND MERCHANTS NATIONAL BANK BLOCK
 GENERAL LOCATION CORNER OF KERNODLE ST. & MARGARET ST.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SINGLE FAMILY CURRENT USE VACANT LOT
 PROPOSED ZONING _____ PROPOSED USE SINGLE FAMILY DWELLING
 ACREAGE .426 LOTS [CURRENT] _____ LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

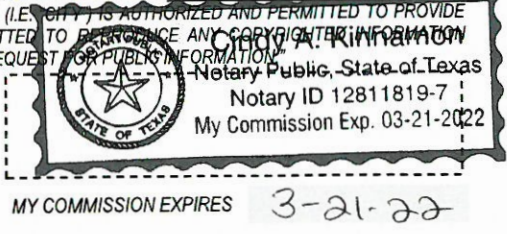
OWNER JONATHAN BROWN APPLICANT KENNETH A. SELDEN
 CONTACT PERSON CONTACT PERSON
 ADDRESS 7814 KILLARNEY LANE ADDRESS 5 SHEPHERDS WAY
 CITY, STATE & ZIP ROWLETT TX 75089 CITY, STATE & ZIP HEATH TX 75032
 PHONE 214-476-2936 PHONE 214-274-2327
 E-MAIL JBROKIN@JHPARCH.COM E-MAIL SELDEN.CONSTRUCTION@GMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kenneth A. Selden [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

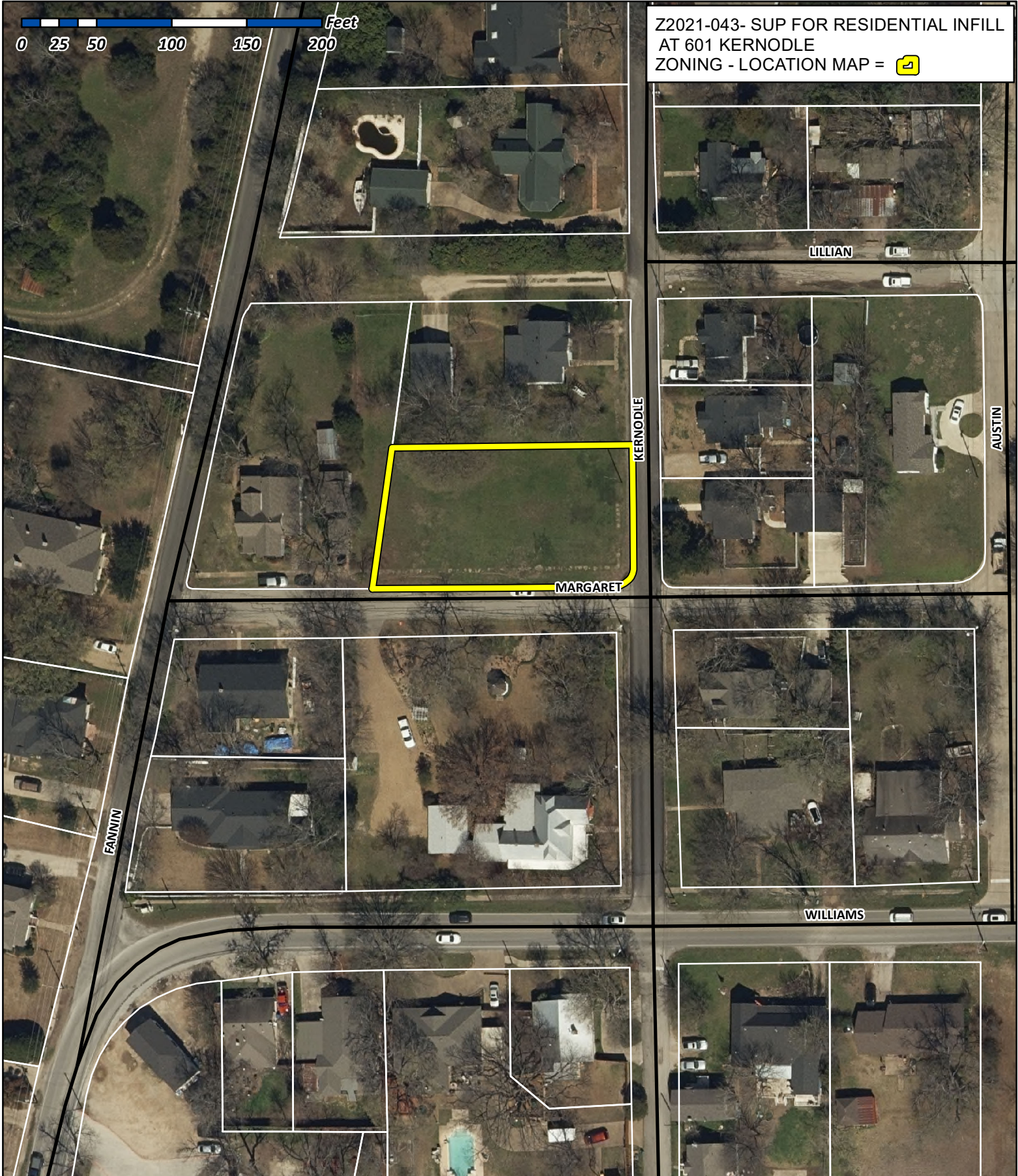
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 23rd DAY OF September, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (LEIGH) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 23rd DAY OF September, 2021
 OWNER'S SIGNATURE [Signature]
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2021-043- SUP FOR RESIDENTIAL INFILL
 AT 601 KERNODLE
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

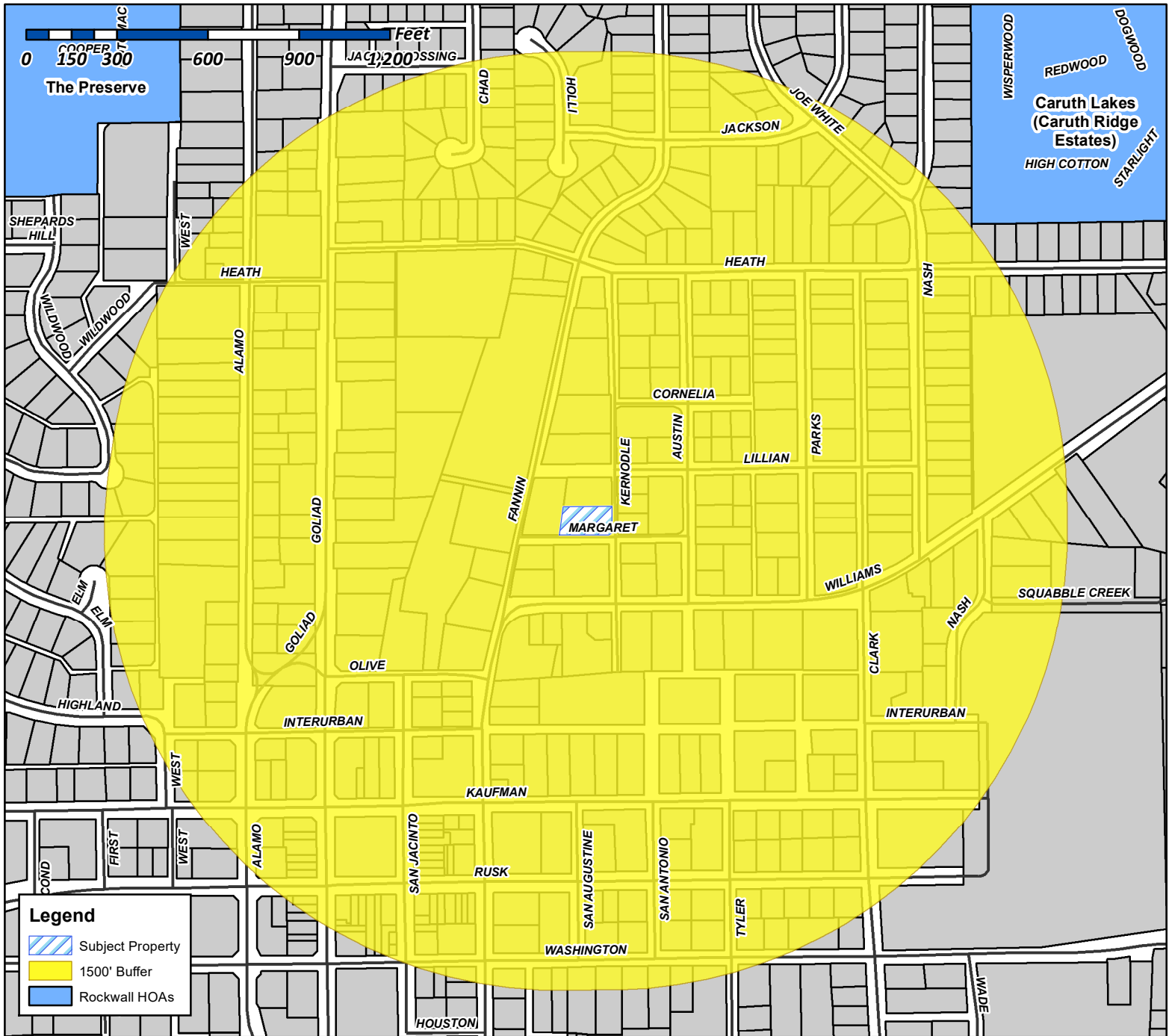




City of Rockwall

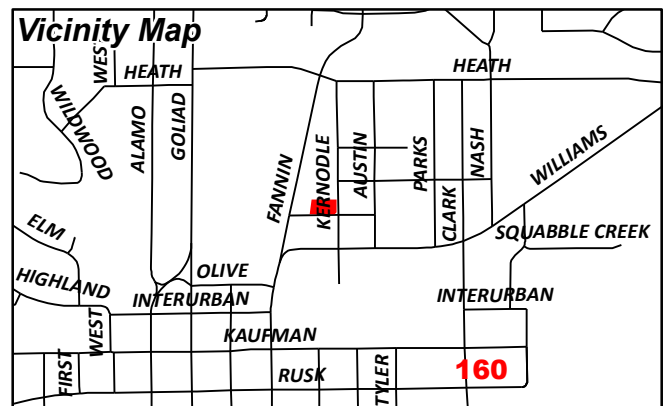
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family (SF-7) District
Case Address: 601 Kernodle

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

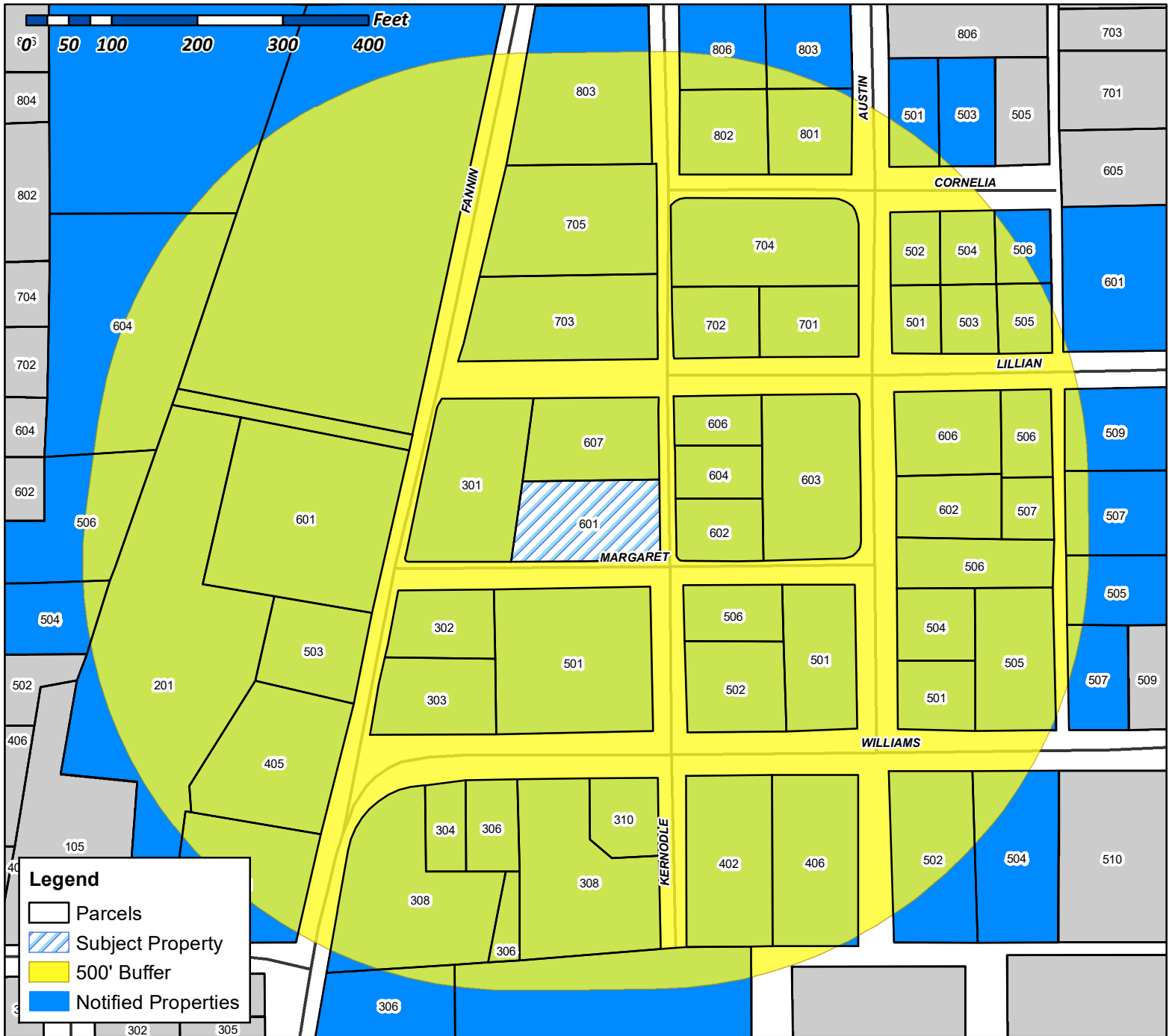




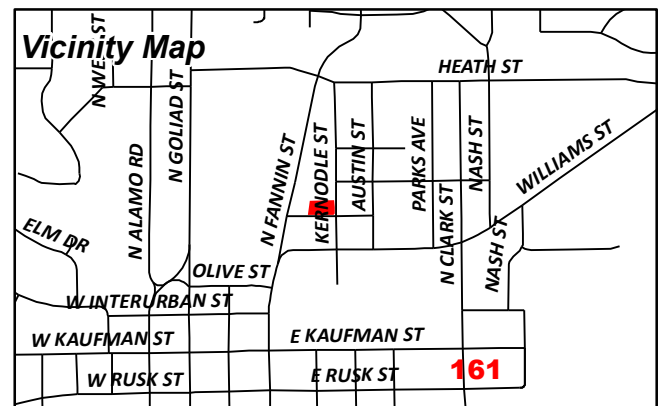
City of Rockwall

Planning & Zoning Department
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Case Number: Z2021-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 601 Kernodle



Date Created: 10/18/2021

For Questions on this Case Call (972) 771-7745

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

SES 105 LLC
11 E BROADWAY 11TH FLOOR
SALT LAKE CITY, UT 84111

CONRAD CCC DEVELOPMENT LLC
1215 THOMASVILLE COURT
GARLAND, TX 75044

PLACE LISANNE
1531 ZAPATA DR
EL DORADO HILLS, CA 95762

MEYERS STUART A & BRENDA S
1614 S LAKESHORE DR
ROCKWALL, TX 75087

CRAWFORD STEVE
1709 GASLIGHT CT
SEABROOK, TX 77586

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

KINSEY DONALD H AND TARI L
2 MANOR CT
HEATH, TX 75032

ODOM JAY & ALISON
201 OLIVE ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

LAURENCE CROSSING LLC
2500 DISCOVERY BLVD SUITE 300
ROCKWALL, TX 75032

ORTAMOND DONALD J & JANA R
301 MARGARET ST
ROCKWALL, TX 75087

LOFTUS GERALDINE J
302 E MARGARET ST
ROCKWALL, TX 75087

ADAMS-ROMANO KEVIN PATRICK & JULLIAN
ROSE
303 WILLIAMS ST
ROCKWALL, TX 75087

POINTER PRICE
304 WILLIAMS ST
ROCKWALL, TX 75087

MORALES JOSE L JR AND
PHUONG A VUONG
306 WILLIAMS ST
ROCKWALL, TX 75087

LAURENCE CROSSING LLC
306 WILLIAMS ST
ROCKWALL, TX 75087

LAURENCE CROSSING LLC
306 N FANNIN ST
ROCKWALL, TX 75087

LAURENCE CROSSING LLC
308 FANNIN
ROCKWALL, TX 75087

MAY PATRICIA A
308 WILLIAMS ST
ROCKWALL, TX 75087

WINES DEBORAH C
310 WILLIAMS ST
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
401 N FANNIN ST
ROCKWALL, TX 75087

PEREIRA ASHLE RENEE
402 WILLIAMS ST
ROCKWALL, TX 75087

ODOM JAY & ALISON
405 N FANNIN STREET
ROCKWALL, TX 75087

PLACE LISANNE
406 WILLIAMS ST
ROCKWALL, TX 75087

SUMBLIN BEN III ESTATE OF
TONI YEAGER, GUARDIAN
501 AUSTIN ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BUTTGEN JAMES D
501 KERNODLE ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

ROAN DOUGLAS RAY AND DEBORA J
501 WILLIAMS STREET
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

BARRON JOSE FELIX & MARIA MERCEDES
502 KERNODLE STREET
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

PARTNER UP HOMES LLC
503 LILLIAN ST
ROCKWALL, TX 75087

ODOM JAY & ALISON
503 N FANNIN ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
504 AUSTIN ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

SUMLIN BEN III ESTATE OF
TONI YEAGER, GUARDIAN
504 PRESIDIO DR
ROCKWALL, TX 75087

CROW CAROL RICHARDSON
504 WILLIAMS
ROCKWALL, TX 75087

CRAWFORD STEVE
504 N GOLIAD
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

CONRAD CCC DEVELOPMENT LLC
505 LILLIAN ST
ROCKWALL, TX 75087

SES 105 LLC
505 PARKS AVE
ROCKWALL, TX 75087

MCNEELY KEVIN AND ALLISON
505 WILLIAMS STREET
ROCKWALL, TX 75087

FOLEY MICHELLE
506 AUSTIN ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

SMITH ALAN E & JUDY ROPER SMITH
506 KERNODLE ST
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S
506 N GOLIAD
ROCKWALL, TX 75087

YOUNG MOLLIE AND JAY CHANCE
507 PARKS AVENUE
ROCKWALL, TX 75087

THOMISON JEREMY & JULIE JAMES
507 WILLIAMS STREET
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

BROWN JONATHAN R & CHRISTY A
601 KERNODLE ST
ROCKWALL, TX 75087

HALL DOUGLAS A & MARCI
601 N FANNIN ST
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVENUE
ROCKWALL, TX 75087

PEOPLES MICHAEL L &
LINDA CAUBLE
602 AUSTIN ST
ROCKWALL, TX 75087

GASKIN STEVE AND
MICHAEL FLANARY
602 KERNODLE STREET
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

CRISWELL BARBARA
604 GOLIAD
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

POINTER PRICE
605 NAKOMA DR
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
606 KERNODLEST
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

ESTATE OF BEULAH CHRISTINE MOONEY
701 AUSTIN ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
702 KERNODLEST
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

ZIMMERMAN CAROLYN
705 KERNODLE ST
ROCKWALL, TX 75087

PARTNER UP HOMES LLC
709 W RUSK SUITE B #905
ROCKWALL, TX 75087

CRISWELL BARBARA
7110 HUNT LANE
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
752 WINDSONG LN
ROCKWALL, TX 75032

BROWN JONATHAN R & CHRISTY A
7814 KILLARNEY LANE
ROWLETT, TX 75089

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

KINSEY DONALD H AND TARI L
802 KERNODLE ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 10 LLC
806 KERNODLEST
ROCKWALL, TX 75087

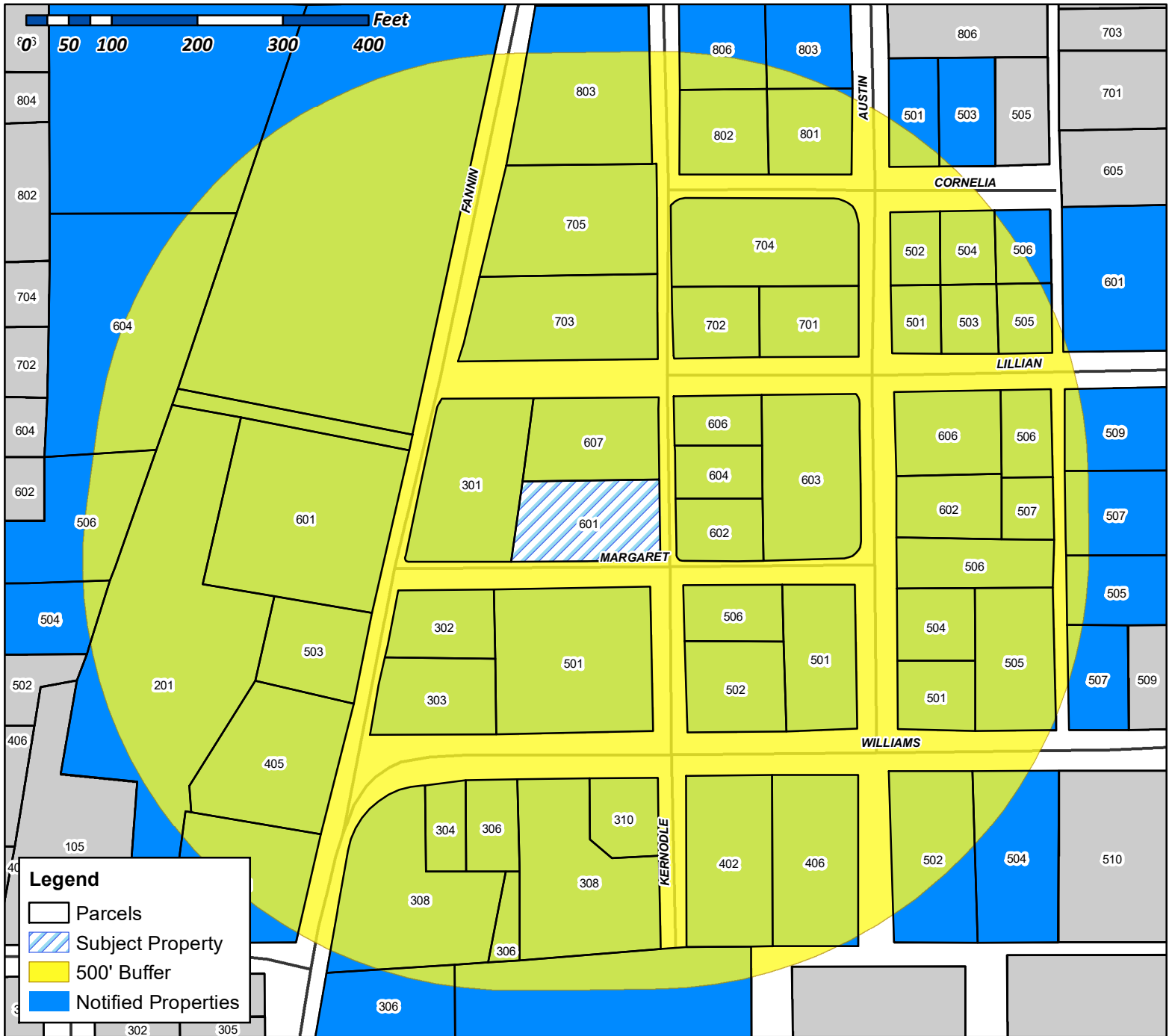
PEOPLES MICHAEL L &
LINDA CAUBLE
PO BOX 41
ROCKWALL, TX 75087



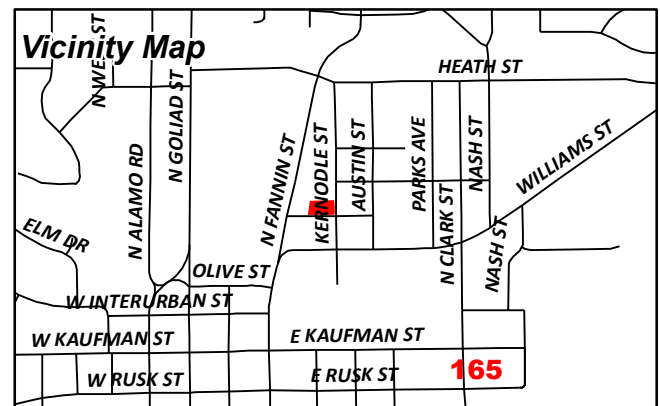
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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Case Number: Z2021-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 601 Kernodle



Date Created: 10/18/2021

For Questions on this Case Call (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-043: SUP for Residential Infill at 601 Kernodle

Hold a public hearing to discuss and consider a request by Kenneth A. Selden on behalf of Johnathan Brown for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.426-acre tract of land identified as a portion of Lot 3, Block B, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 601 Kernodle Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-043: SUP for Residential Infill at 601 Kernodle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-043: SUP for Residential Infill at 601 Kernodle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

It is their land, let them build their house.

Name: *Chris Rains*
Address: *2500 Discovery Blvd. Suite 300, Rockwall, TX 75032 / 308 N. Fannin St. Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-043: SUP for Residential Infill at 601 Kernodle

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Empty text area for comments or reasons.

Name: Brad & Ginger Johnson
Address: 803 Kernodle St.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

11/3/21

TO: MS. ANGELICA GAMEZ
ROCKWALL P & Z

FROM: DAVID DOROTIK
509 PARKS AVE, ROCKWALL

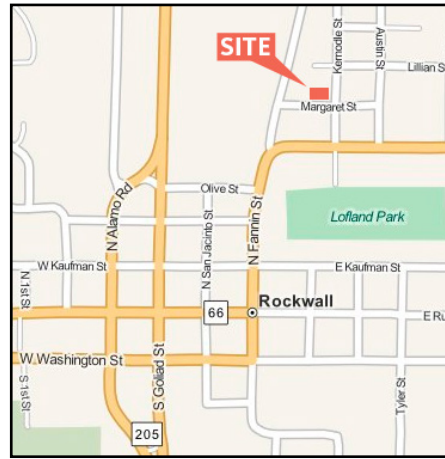
RE: CASE No. E2021-043
SUP FOR RESIDENTIAL INFILL AT 601 KERNODLE

I AM IN FAVOR OF THIS REQUEST

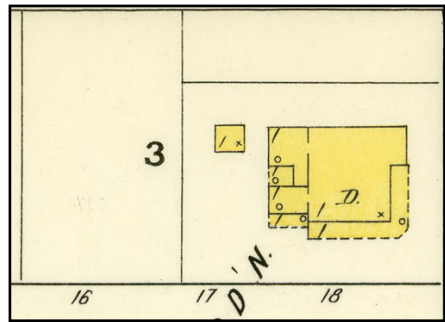
David Dorotik

DAVID W. DOROTIK
509 PARKS AVE
ROCKWALL, TX 75087

VICINITY MAP

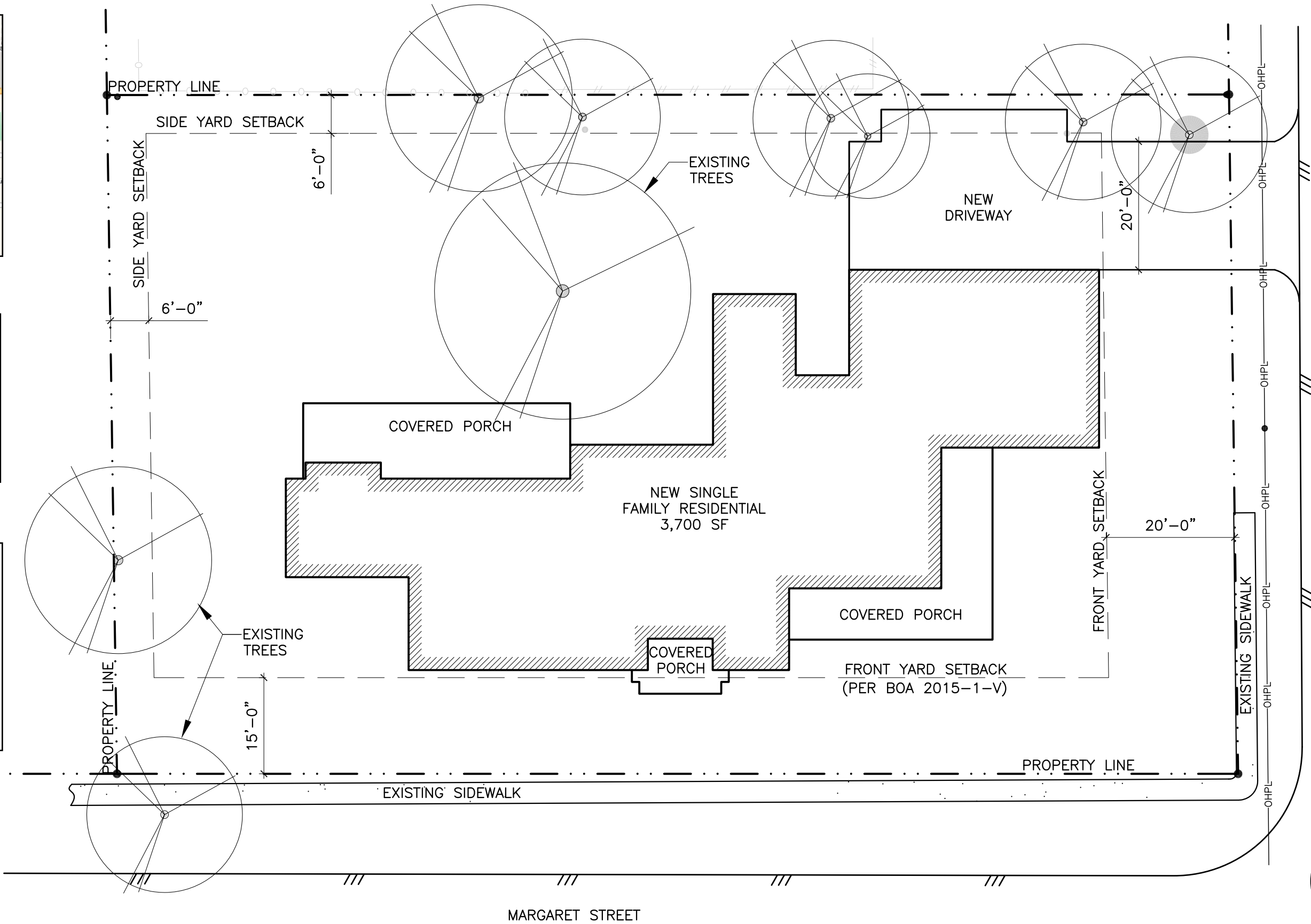


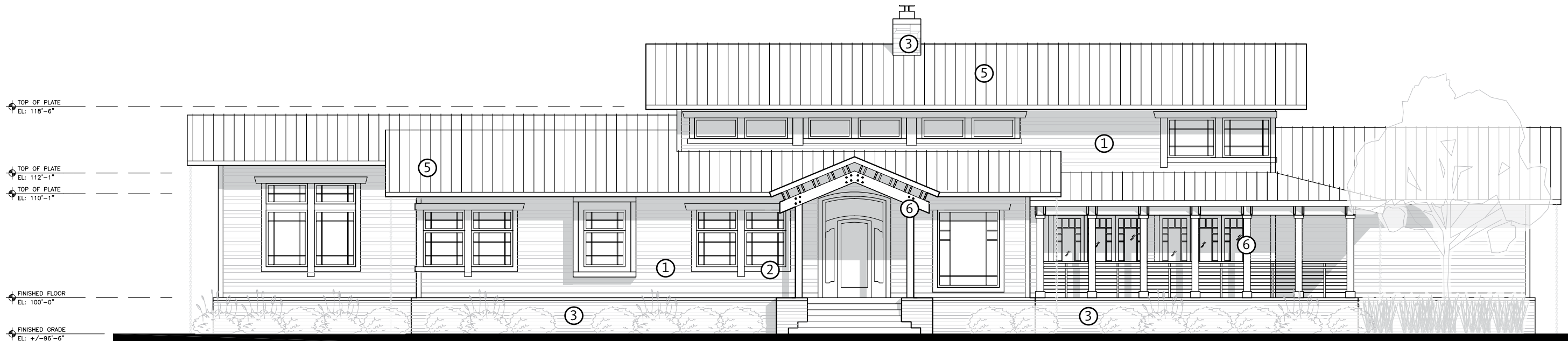
HISTORICAL ORIENTATION



DEVELOPMENT DATA

ZONING: SF-7
 ACREAGE: 0.426 ACRES
 LOT COVERAGE: 28.1% (45% MAX)
 BUILDING HEIGHT: 25'-0" (32'-0" MAX)

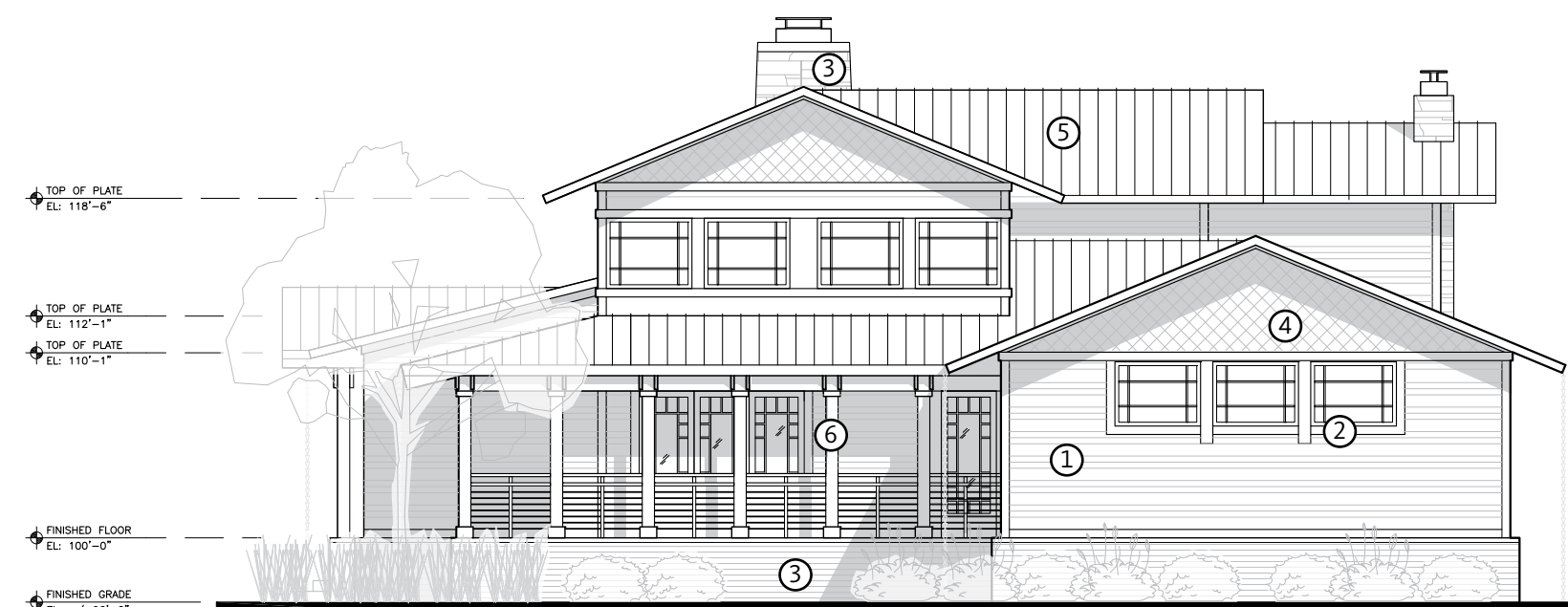




01.MARGARET ST. ELEVATION

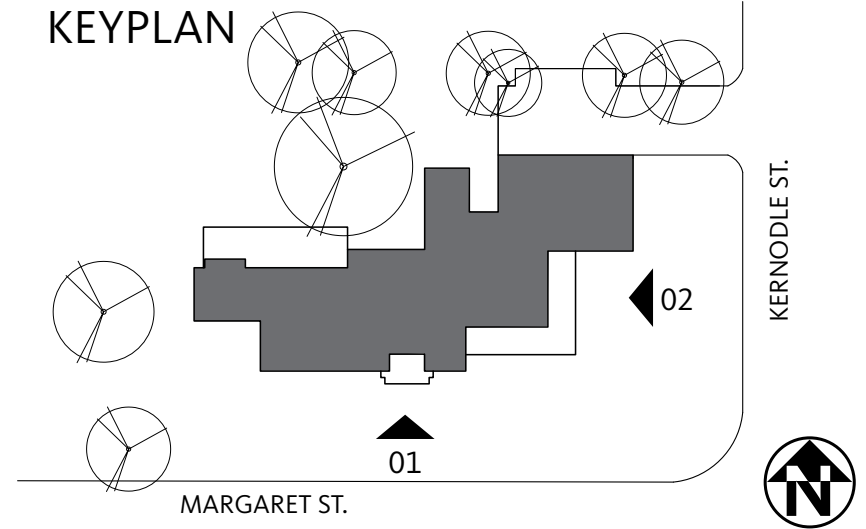
MATERIALS

- ① CEMENTITIOUS LAP SIDING
- ② CEMENTITIOUS DIMENSIONAL TRIM
- ③ MASONRY
- ④ MTL SHINGLE
- ⑤ STANDING SEAM MTL ROOF
- ⑥ HEAVY TIMBER FRAMING



02.KERNODLE ST. ELEVATION

KEYPLAN



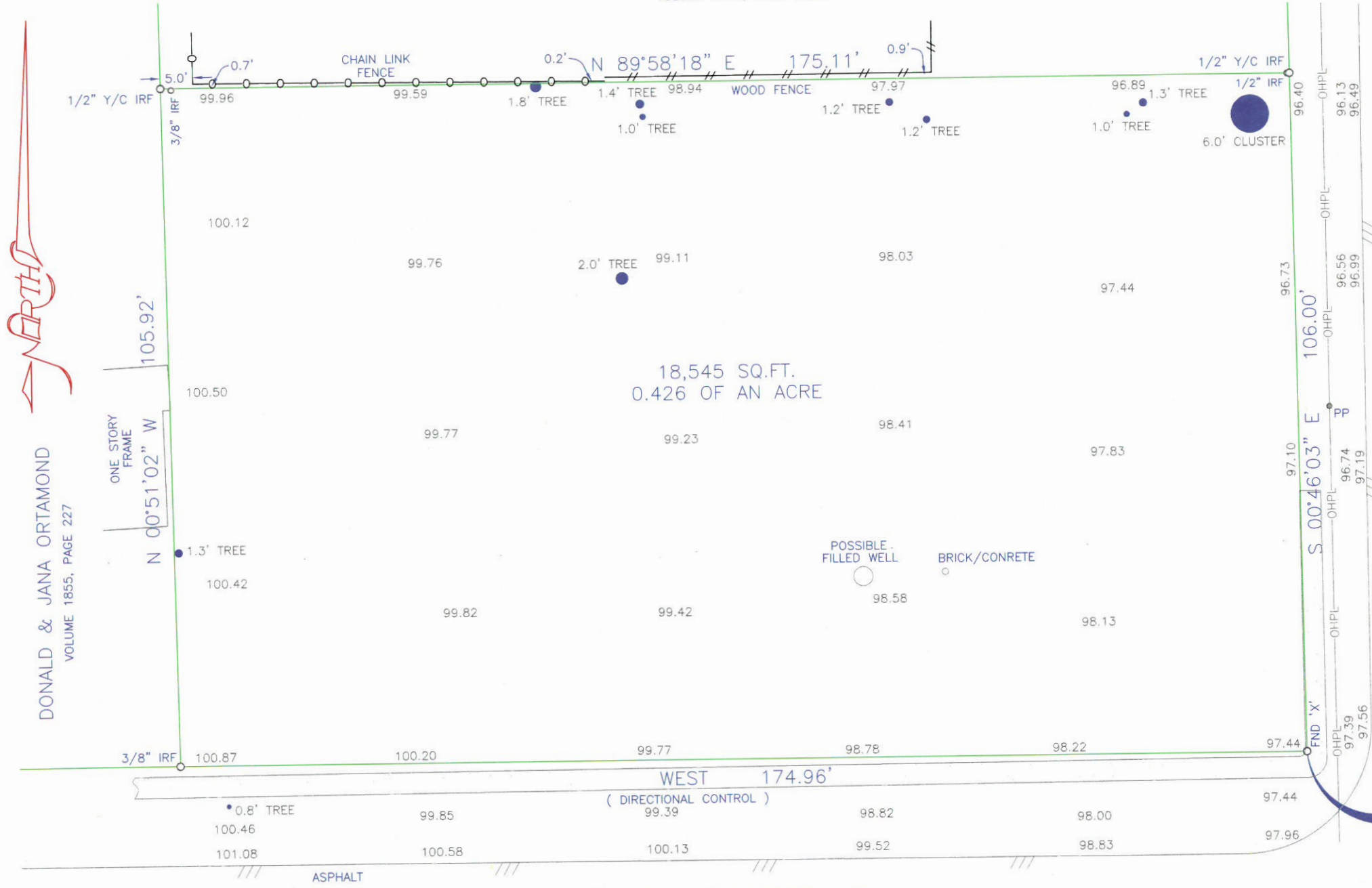
■ TEXT
■ IMPROVEMENTS
■ BOUNDARY LINE
■ EASEMENT/SETBACK
■ RESIDENCE/FENCES

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

PAUL & TERRIE BUTLER
VOLUME 2014, PAGE 12254

SURVEY PLAT

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 601 KERNODLE STREET, in the city of ROCKWALL, ROCKWALL COUNTY Texas.



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a tract of land situated in the B.F. Boydston Survey, Abstract No. 414, being a portion of Block 3 of Farmers and Merchants National Bank Addition an addition to the City of Rockwall recorded in Volume R, Page 313 of the Map Records, Rockwall County, Texas, and being a portion of a tract of land conveyed to Jonathon and Christy Brown as recorded in Volume 7021, Page 46 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" found for corner, being a point in the Right of Way at the intersection of Kernodle Street and Margeret Street, and being the Southeast corner of said Brown tract;

THENCE West (directional control), a distance of 174.96 feet to a 3/8 inch iron rod found for corner, being the Southeast corner of a tract of land conveyed to Donald and Jana Ortamond as recorded in Volume 1855, Page 227 of the Deed Records of Rockwall County, Texas, being a point in the North Right of Way line of Margaret Street, and being a Southwest corner of said Brown tract;

THENCE North 00 degrees 51 minutes 02 seconds West, a distance of 105.92 feet to a 1/2 inch yellow-capped iron rod found for corner, being the Southwest corner of a tract of land conveyed to Paul and Terrie Butler as recorded in Volume 2014, Page 12254 of the Deed Records of Rockwall County, Texas, and being a point in the East line of said Ortamond tract;

THENCE North 89 degrees 58 minutes 18 seconds East, a distance of 175.11 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being a point in the West Right of Way line of said Kernodle Street, and being the Southeast corner of said Butler tract;

THENCE South 00 degrees 46 minutes 03 seconds East, a distance of 106.00 feet the PLACE OF BEGINNING and containing 18,545 square feet and 0.426 of an acre of land.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

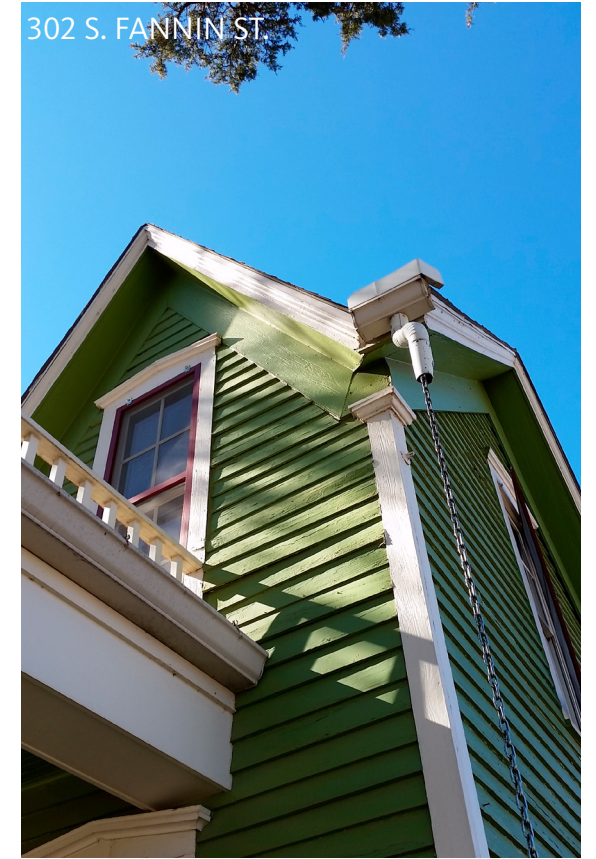
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
Date: 12/16/2014
G. F. No.:
Job no.: 87341
Drawn by: JW-CM

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR URBAN DESIGN
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.



TITLE AND ABSTRACTING WORK FURNISHED BY URBAN DESIGN



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
602 Kernodle	Single-Family Home	1920	1008	896	Siding
604 Kernodle	Single-Family Home	1945	1038	100	Siding
606 Kernodle	Single-Family Home	1941	825	144	Siding
607 Kernodle	Single-Family Home	1954	1045	720	Siding
703 Kernodle	Single-Family Home	1995	2359	1061	Siding
301 Margaret	Single-Family Home	1900	1632	276	Siding
601 N. Fannin	Single-Family Home	1910	2250		Siding
503 N. Fannin	Single-Family Home	1940	1900	1232	Siding
303 Williams	Single-Family Home	1945	2046	50	Brick & Siding
302 E. Margaret	Single-Family Home	1905	1648		Siding
501 Kernodle	Single-Family Home	1885	2152	580	Siding
506 Kernodle	Single-Family Home	2006	1942	480	Siding
Averages:		1937.17	1653.75	554	



602 Kernodle



604 Kernodle



606 Kernodle



607 Kernodle



703 Kernodle



301 Margaret



601 N. Fannin



503 N. Fannin



303 Williams



302 Margaret



501 Kernodle



506 Kernodle

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.426-ACRE TRACT OF LAND, IDENTIFIED AS A PORTION OF LOT 3, BLOCK B, F & M ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jonathan Brown for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.426-acre parcel of land identified as a portion of Lot 3, Block B, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 601 Kernodle Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF DECEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

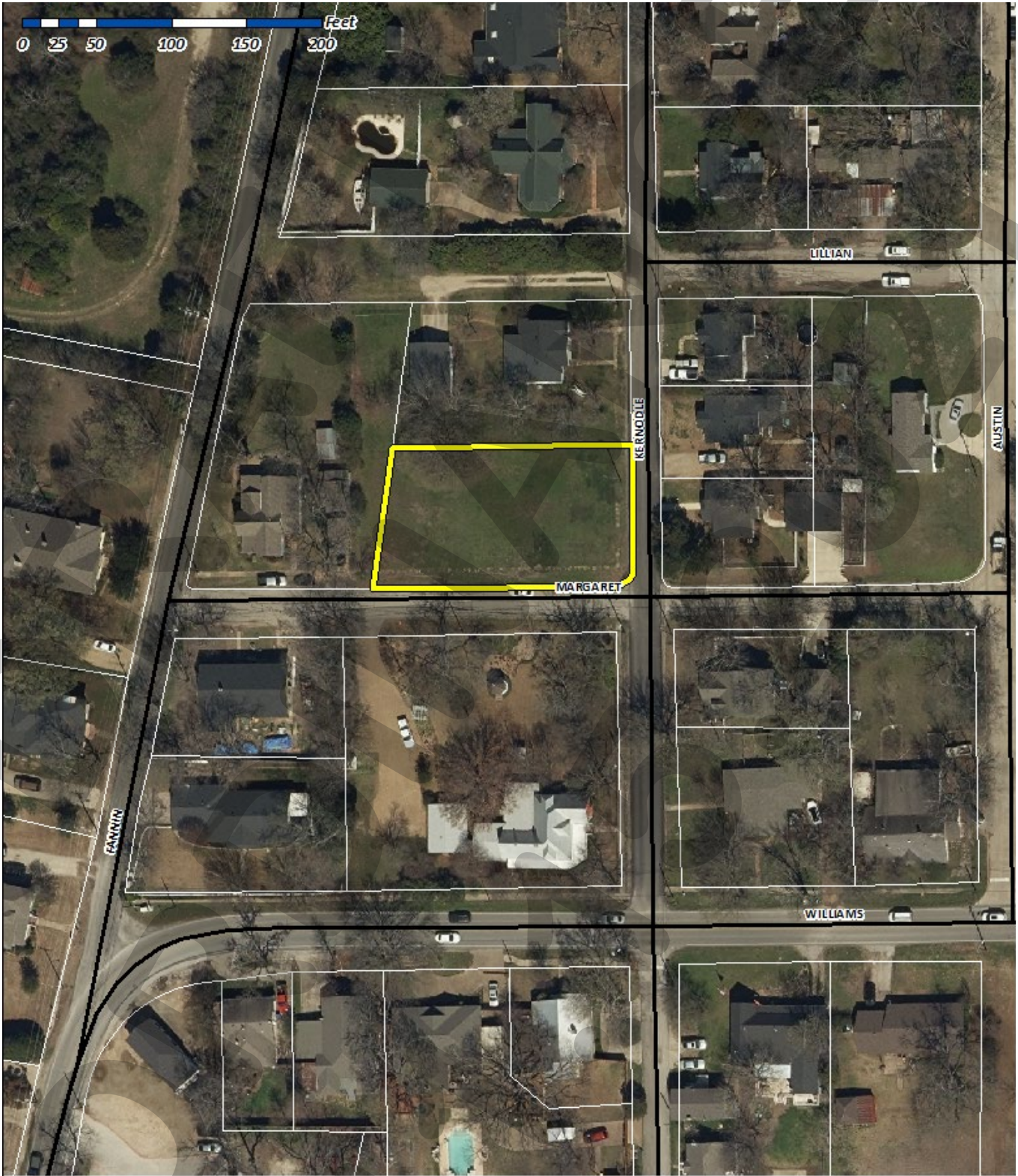
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

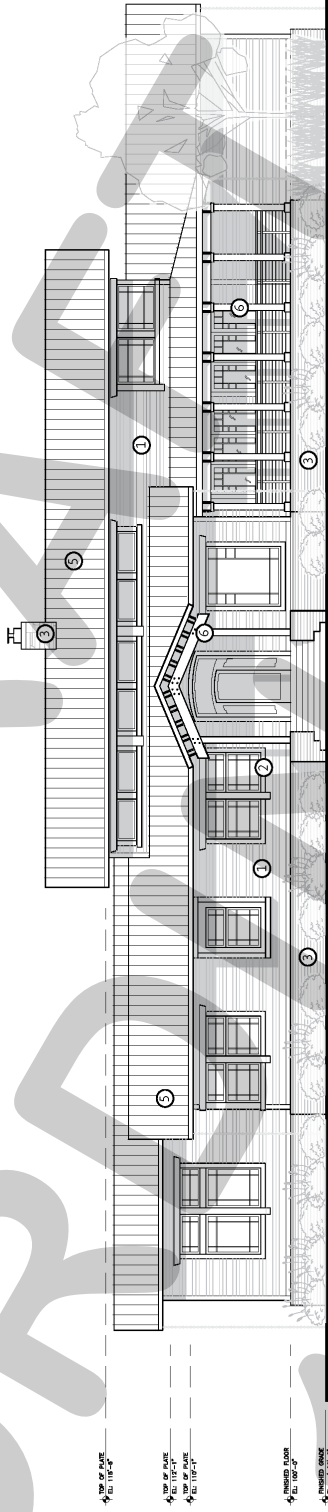
1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Address: 601 Kernodle Street
Legal Description: Lot 3, Block B, F & M Addition



DRAWING

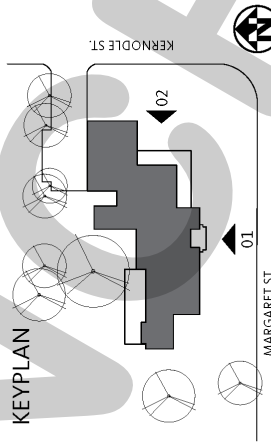


01. MARGARET ST. ELEVATION

MATERIALS

- 1 CEMENTITIOUS LAP SIDING
- 2 CEMENTITIOUS DIMENSIONAL TRIM
- 3 MASONRY
- 4 MTL SHINGLE
- 5 STANDING SEAM MTL ROOF
- 6 HEAVY TIMBER FRAMING

KEYPLAN



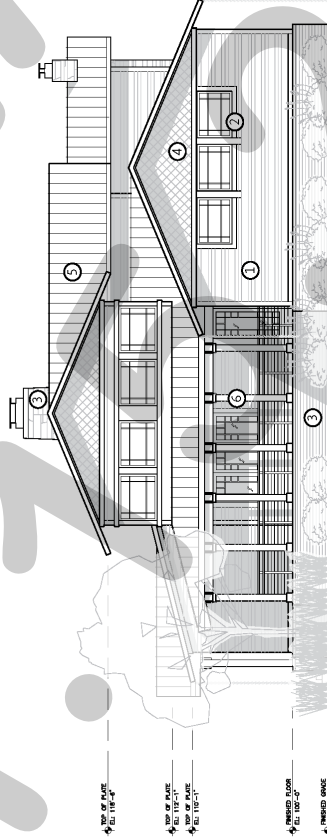
1.2

FEB. 05. 2015
J.R. BROWN, AIA
ARCHITECT
NOT FOR REGULATORY APPROVAL. PERMIT OR CONSTRUCTION. J.R. BROWN, AIA
REGISTERED ARCHITECT OF THE STATE OF TEXAS. REGISTRATION NO. 21886

PROPOSED ELEVATIONS
SCALE: 1/16" = 1'-0"

JR Brown Architect | 601 KERNODLE

02. KERNODLE ST. ELEVATION





MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: Z2021-044; SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION AT 478 RENEE DRIVE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Residential Plot Plan
Building Elevations
Floor Plan
Housing Analysis
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a n **ordinance** for a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Alex Flores
CASE NUMBER: Z2021-044; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive.

BACKGROUND

The subject property was originally platted as Lot 1406 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On July 6, 2021, the subject property was replatted as Lot 2, Block M, Lake Rockwall Estates East Addition.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 478 Renee Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is a 60.00-acre tract of vacant land (*i.e. Tract 4 of the J. R. Johnson Survey, Abstract No. 128*) that is zoned Agricultural (AG) District.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Nicole Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Renee Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Renee Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face east towards Renee Drive.
Year Built	1965-1997	N/A
Building SF on Property	840 SF – 1,680 SF	1,529 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Wood, Metal, & Vinyl Siding	Brick
Paint and Color	Brown, Tan, Blue, White, & Orange	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Homes without Garages	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage six (6) feet, ten (10) inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Renee Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 22, 2021, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021 the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 4708 RENEW DR ROCKWALL, TX

SUBDIVISION Rockwall Lake Properties

LOT 1405, 1406 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ALEX FLORES

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 1650 John King Blvd
APT 3710

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP

PHONE (469) 534-5809

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

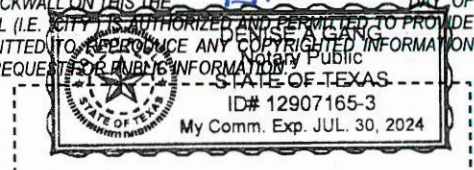
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

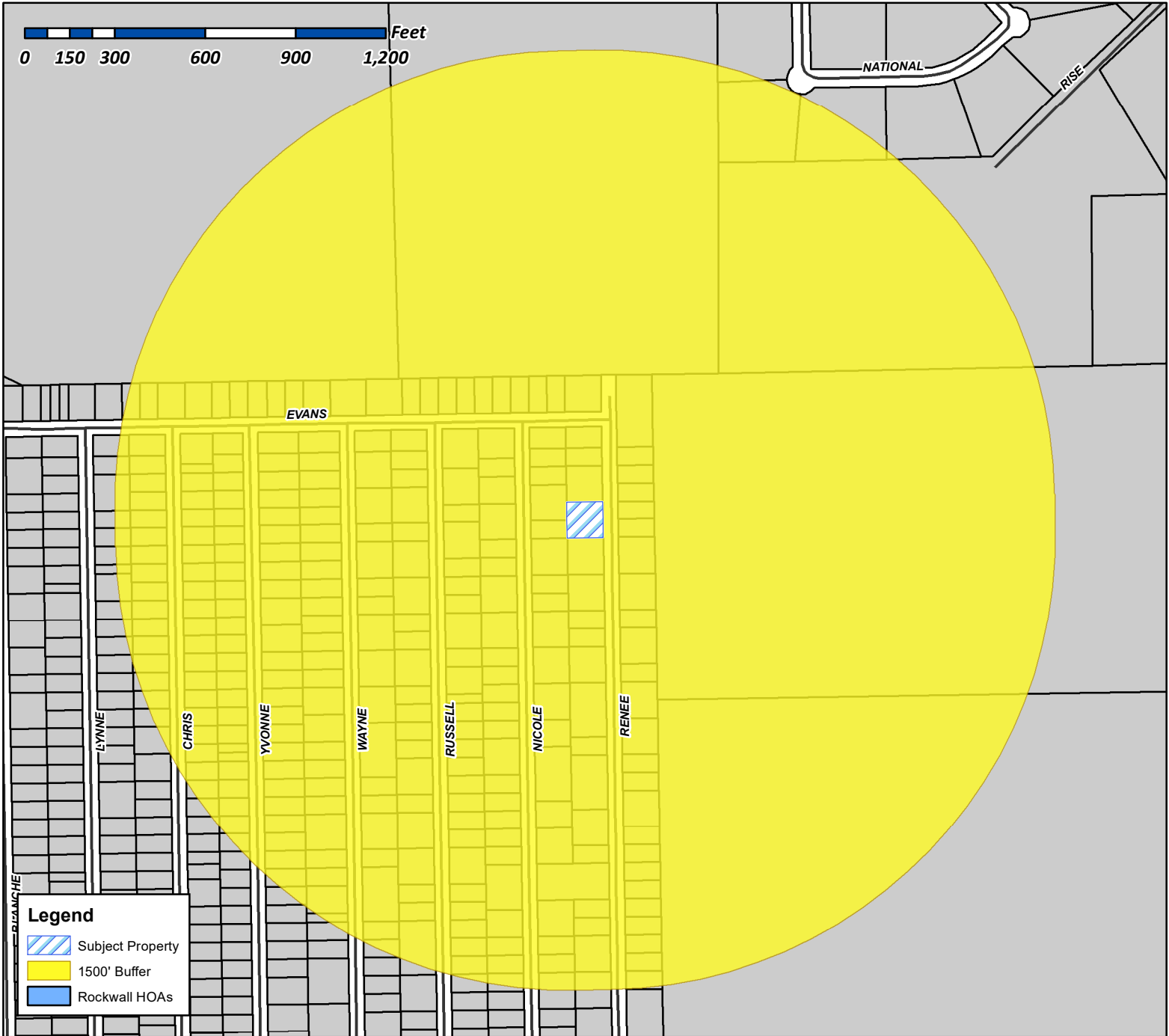
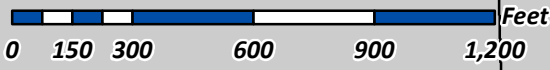
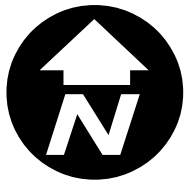




City of Rockwall

Planning & Zoning Department
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(P): (972) 771-7745
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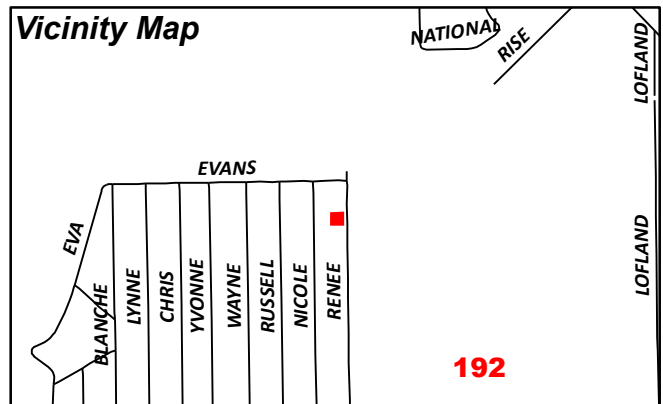
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

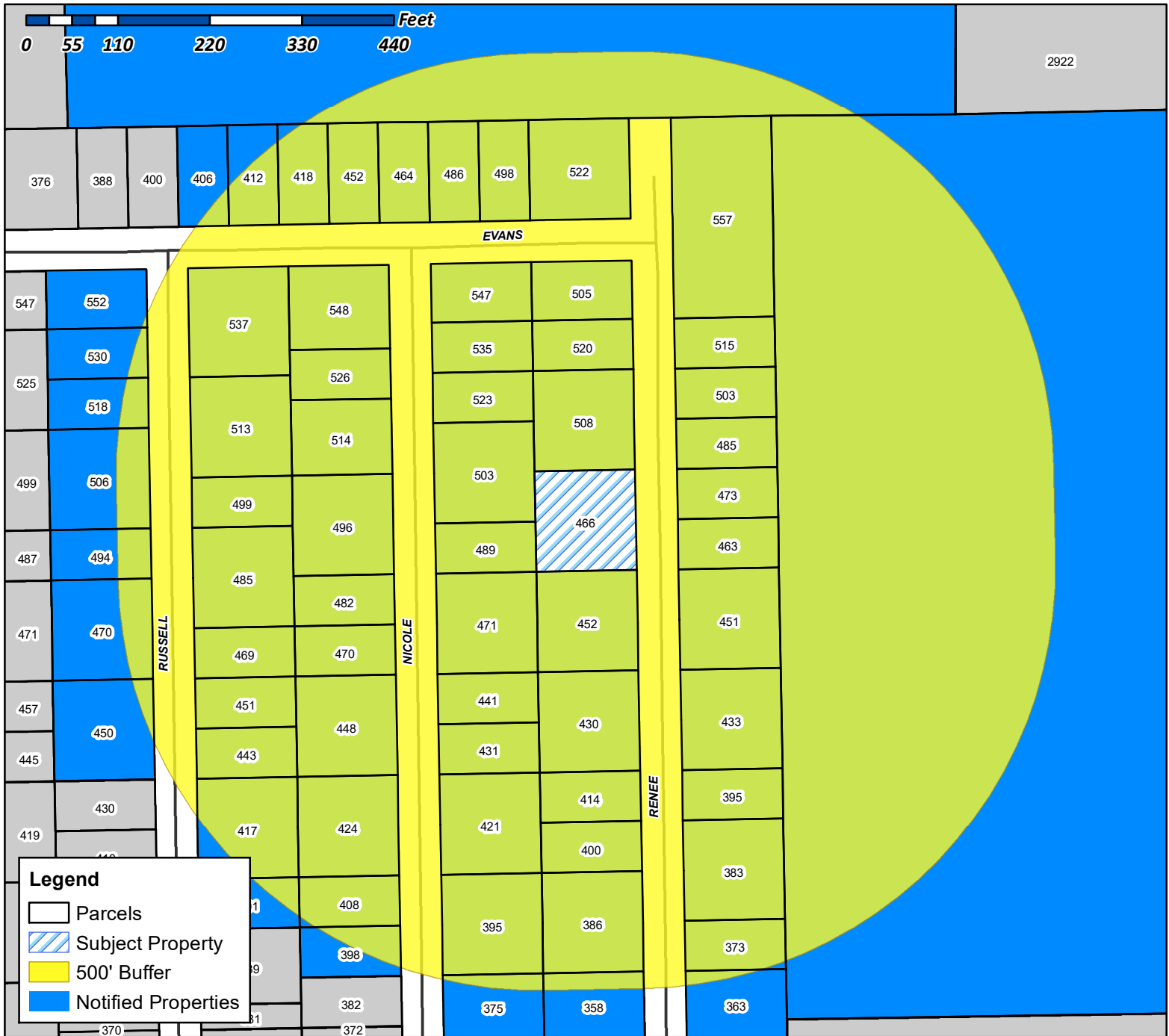




City of Rockwall

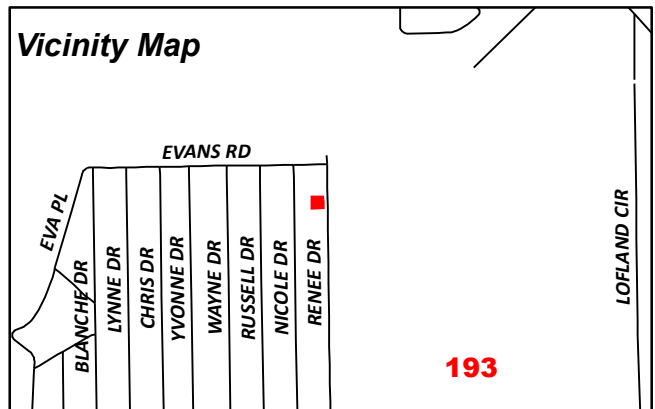
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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 For Questions on this Case Call (972) 771-7745



SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1950 JOHN KING BLVD APT 3710
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
221 NICOLE
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
321 PANOLA CT
ROYSE CITY, TX 75189

YANEZ ALONSO TORRES
358 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
363 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
3701 W. ROCHELLE RD
IRVING, TX 75062

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MCCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
383 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
386 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

GUTIERREZ EFREN
395 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
401 RUSSELL DR
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ
406 EVANS
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
408 NICOLE
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
412 EVANS RD
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ALFREDO GUEVARA
417 RUSSELL DR
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
418 EVANS RD
ROCKWALL, TX 75032

DELGADO FRANCISCO PEREZ &
GUADALUPE PEREZ
421 NICOLE DR
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
424 NICOLE
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
431 NICOLE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
433 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

DRCE TRUST
441 NICOLE DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
443 RUSSELL DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
448 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
450 RUSSELL DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
451 RUSSELL DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
452 EVANS RD
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
464 EVANS RD
ROCKWALL, TX 75032

FLORES ALEJANDRO
466 RENEE DR
ROCKWALL, TX 75032

SOSA LORENA
469 RUSSELL DRIVE
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE
ROCKWALL, TX 75032

JIMENEZ LEONARDO
470 RUSSELL DR
ROCKWALL, TX 75032

MONTALVO ABRAHAM JESUS
471 NICOLE DRIVE
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
485 RENEE DR
ROCKWALL, TX 75032

TELL MARK ALLEN
485 RUSSELL DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
489 NICOLE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL LOT 1252
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
496 NICOLE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
498 EVANS RD
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
503 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ JOSE G
508 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
515 RENEE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
520 RENEE DR
ROCKWALL, TX 75032

JIMENEZ LEONARDO
5201 KELSO LN
GARLAND, TX 75043

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

PEREZ REYNA JUAN MARTIN
526 NICOLE
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
535 NICOLEDR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
557 RENEE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 TOWNSEND DR
ROCKWALL, TX 75087

VINE CONSTRUCTION AND ROOFING
7331 WESTER WAY
DALLAS, TX 75248

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
P O BOX N-9583
NASSAU, BAHAMAS,

DRCE TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Please place a check mark on the appropriate line below:

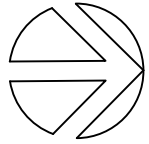
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

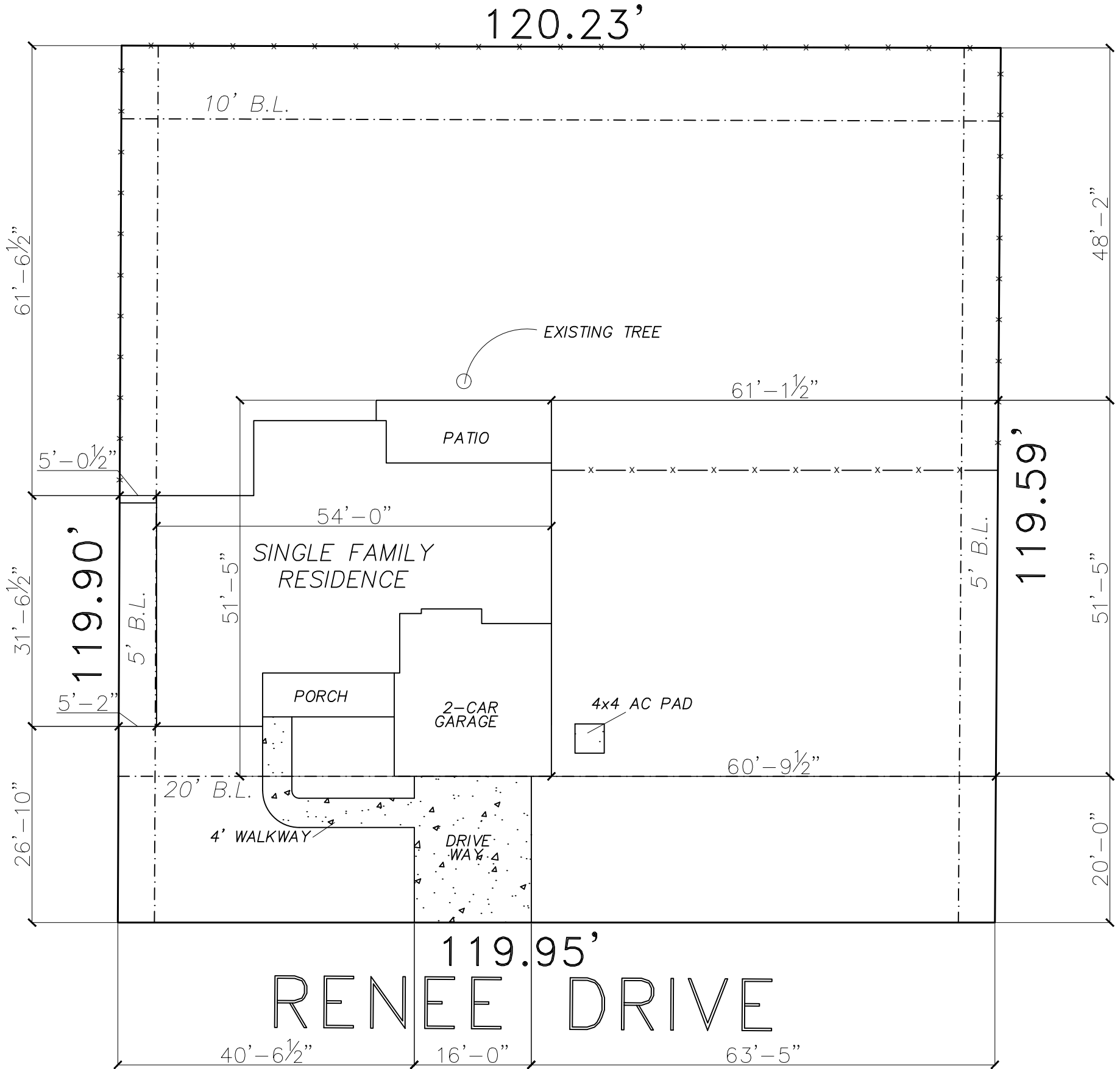


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

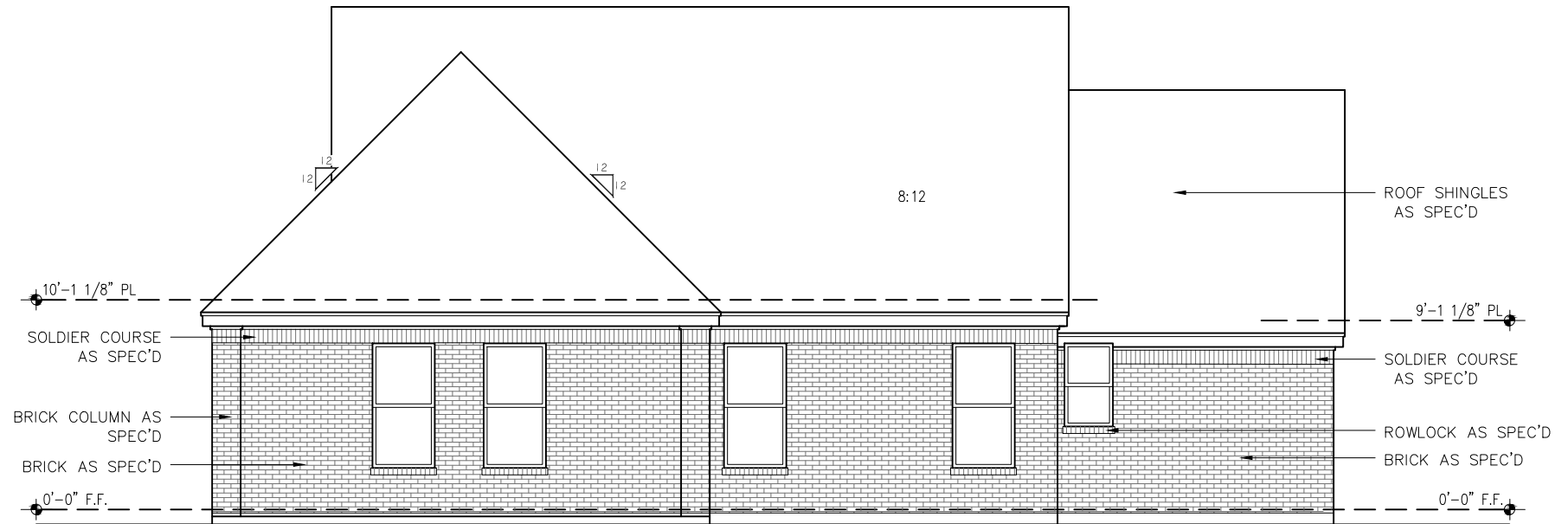
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
 DATE: _____
 NOTES: _____

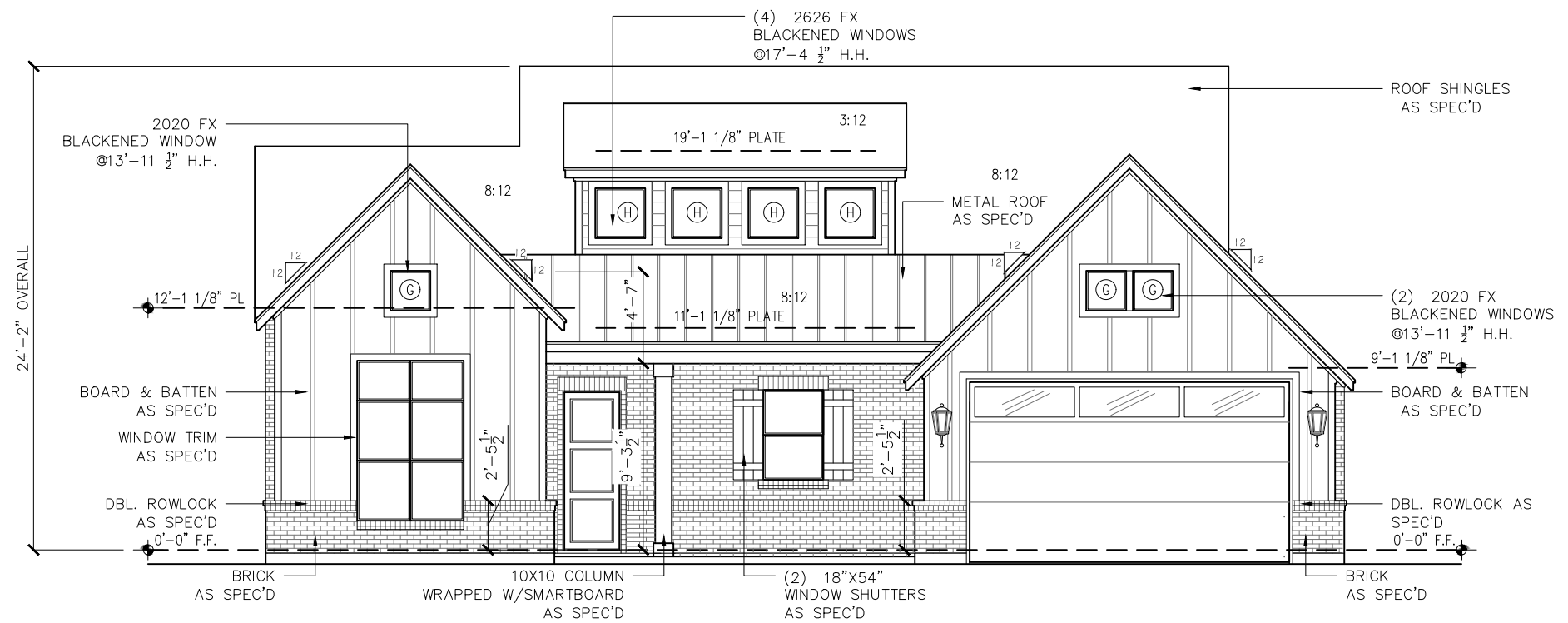
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL PLACE OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	PLOT PLAN SP1

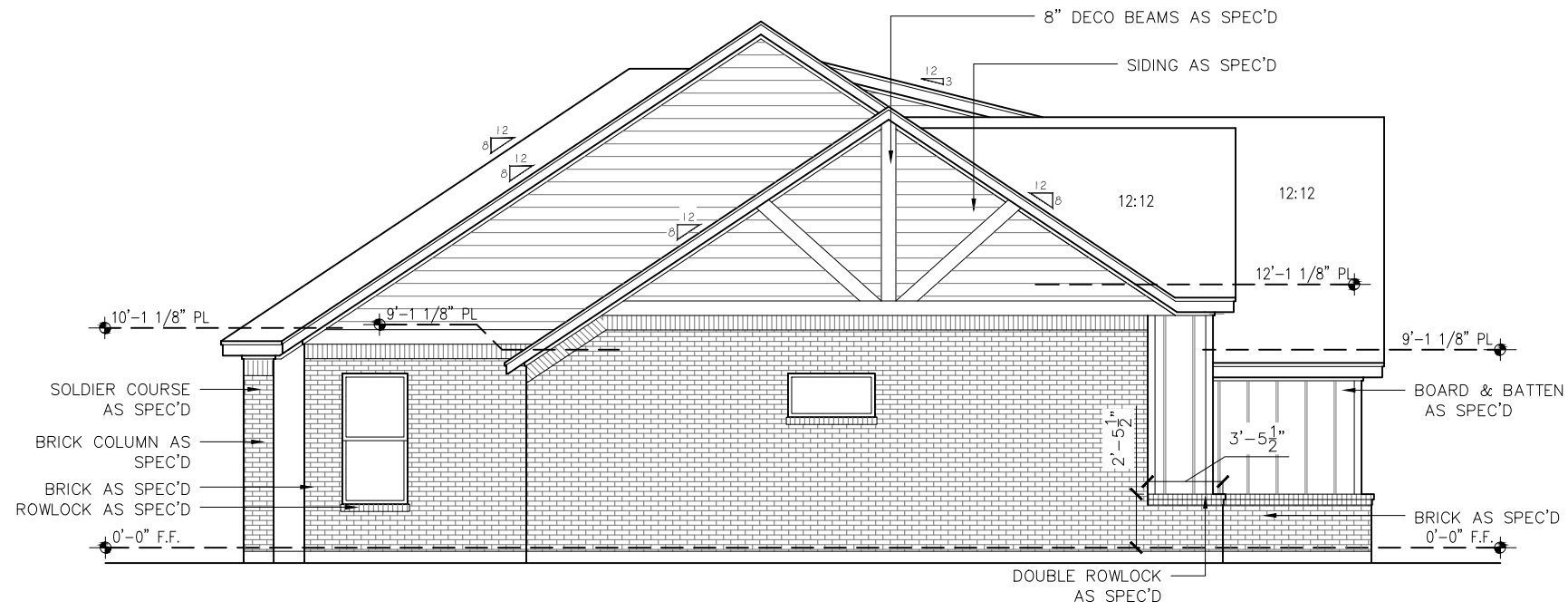


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

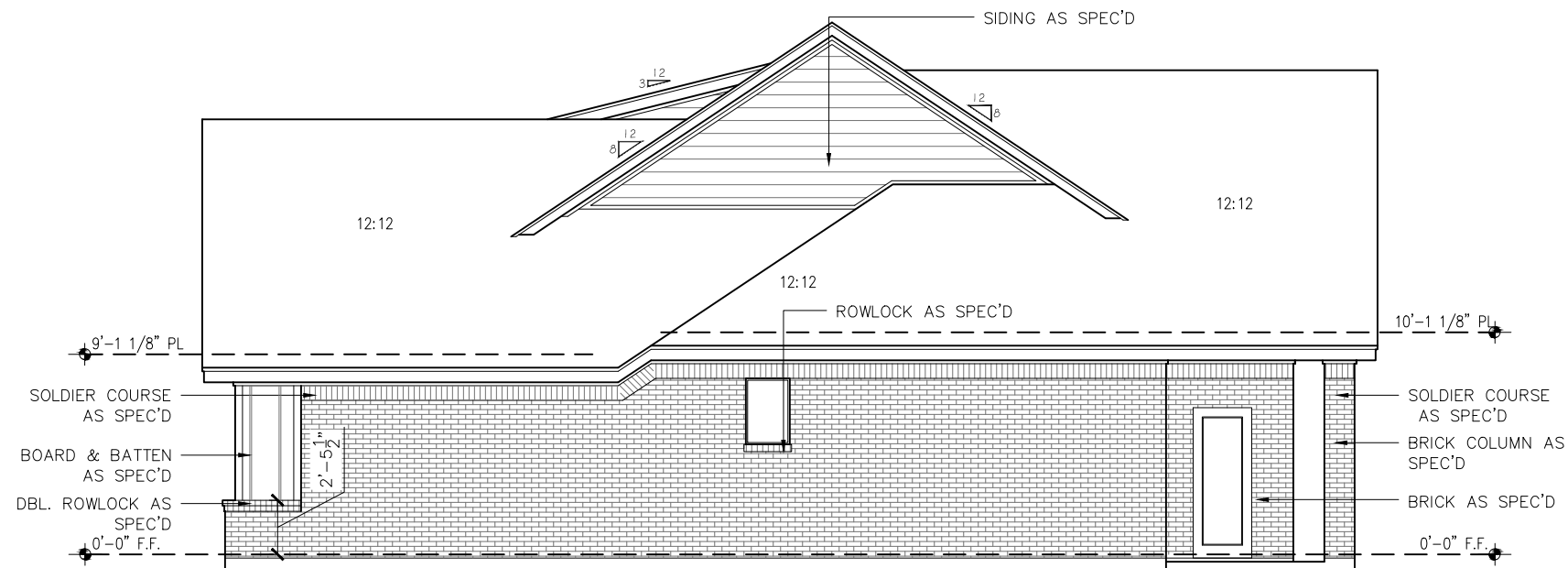
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE		46 SF		
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

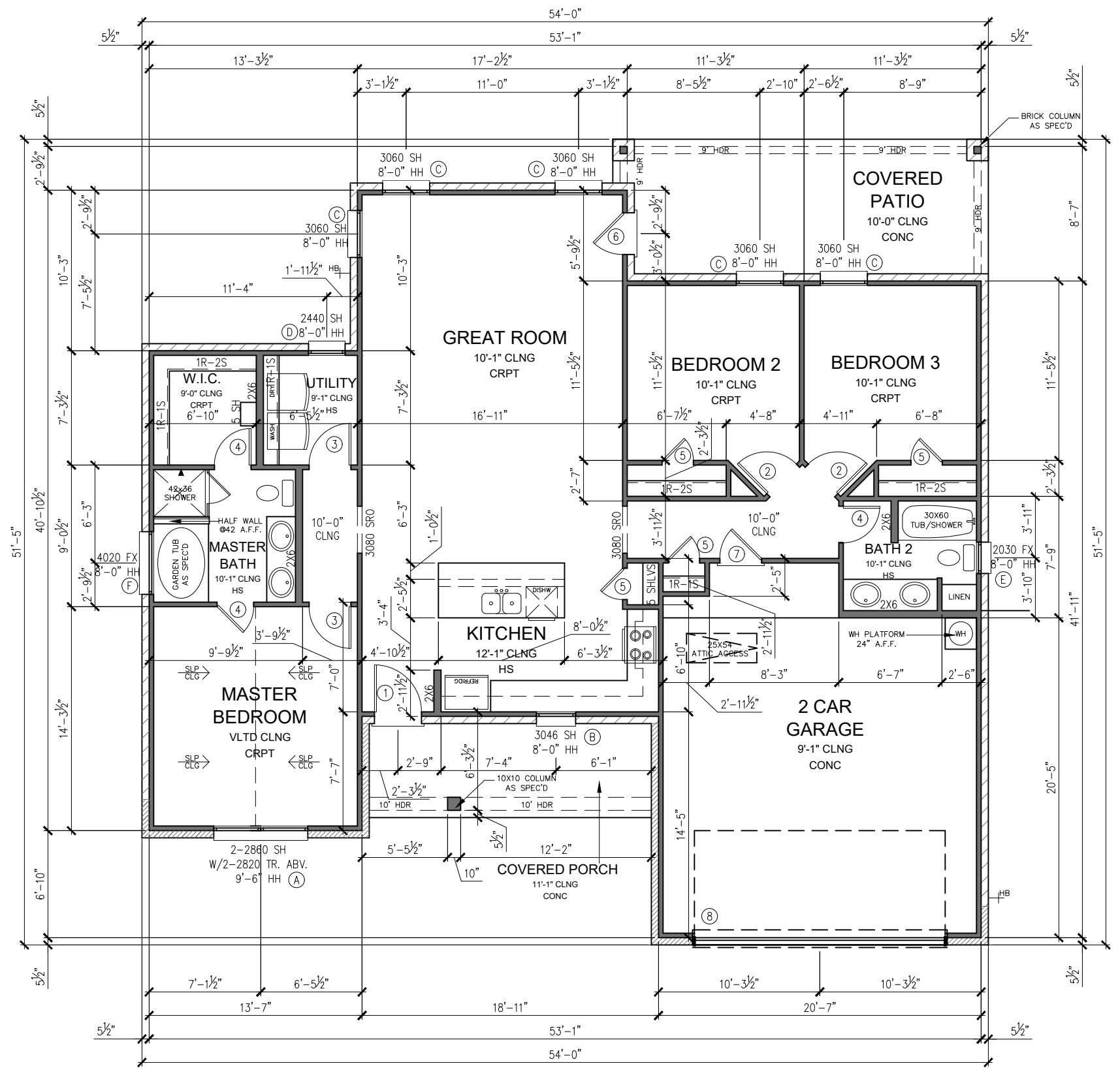
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

478 Renee Drive: Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
414 Renee Dr.	Modular Home	1980	980	100	Siding
430 Renee Dr.	Modular Home	1980	980	208	Siding
433 Renee Dr.	Modular Home	1988	1400	400	Siding
451 Renee Dr.	Modular Home	1997	1680	300	Siding
452 Renee Dr.	Modular Home	1982	840	240	Siding
473 Renee Dr.	Modular Home	1987	924	300	Siding
485 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
503 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
515 Renee Dr,	Vacant	N/A	N/A	N/A	N/A
508 Renee Dr.	Modular Home	1974	1136	336	Siding
505 Evans Rd.	Single-Family Home	1981	1344	N/A	Wood/Siding
523 Nicole Dr.	Modular Home	1965	1064	N/A	Siding
503 Nicole Dr.	Modular Home	N/A	N/A	364	Siding
489 Nicole Dr.	Modular Home	1988	1200	N/A	Siding
471 Nicole Dr	Modular Home	1997	1680	N/A	Siding
Averages:		1982	1174.22	306.86	

414 Renee Dr.



430 Renee Dr.



433 Renee Dr.



451 Renee Dr.



452 Renee Dr.



473 Renee Dr.



508 Renee Dr.



505 Evans Rd.



523 Nicole Dr.



503 Nicole Dr.



489 Nicole Dr.



471 Nicole Dr.



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK M, LAKE ROCKWALL ESTATES EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.33-acre parcel of land identified as Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Address: 478 Renee Drive
Legal Description: Lot 2, Block M, Lake Rockwall Estates East

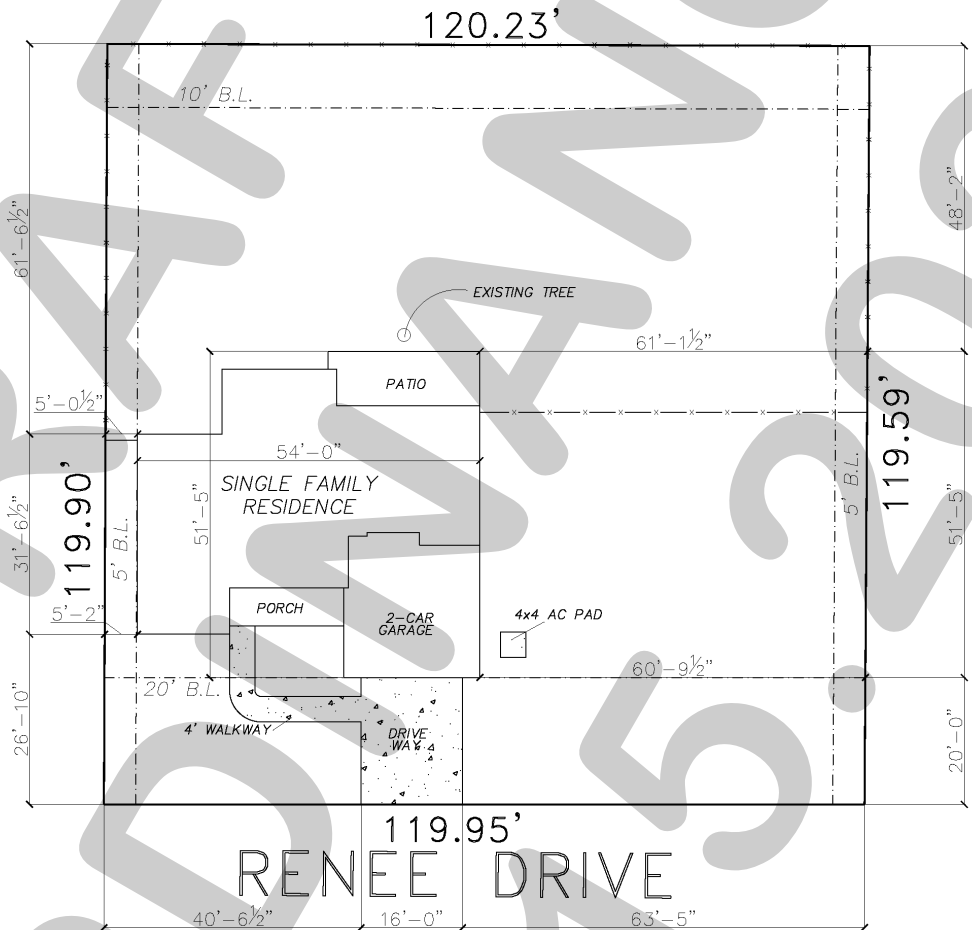




NORTH
SCALE: 1" = 16'-0"

AREA CALCULATIONS	
LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE	2769 SF
% TOTAL IMP. COVERAGE	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'x4' A.C. PAD COVERAGE	16 SF
% 4'x4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES: _____

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

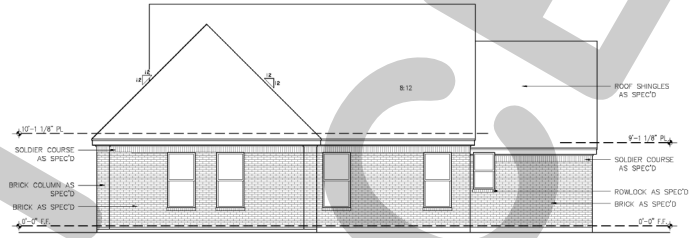
DDS GROUP

PLOT PLAN | SP1

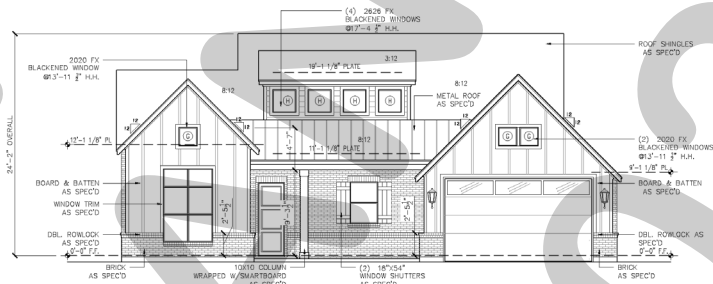
NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THIS RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. PLATWORK IS ONLY A REPRESENTATION.

AREA	FINISH	QUANTITY	UNIT	SQ. FT.
REAR	BRICK	281.18	SF	281.18
FRONT	BRICK	46.35	SF	46.35
LEFT	BRICK	95.08	SF	95.08
RIGHT	BRICK	17.35	SF	17.35
TOTAL	BRICK	340.96	SF	340.96
TOTAL SQ. FT.		480.92		480.92

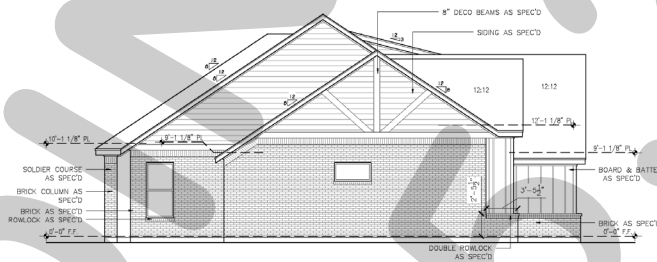
See Note 200.0 Section 10.00 for details.



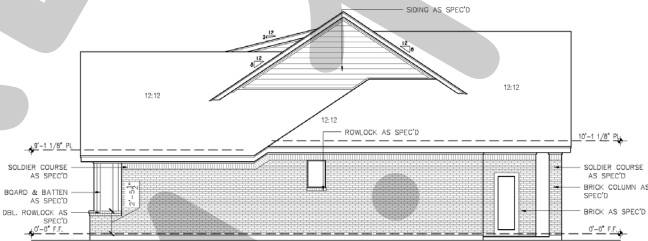
1 PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #21
GRAND PRairie, TX 75050
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER:
0255-JJ

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A2



DDS GROUP
123 W. MAIN ST. #21
GRAND PRairie, TX 75050
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER:
0255-JJ

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

A3



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: Z2021-045; SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION AT 418 COLUMBIA DRIVE

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Residential Plot Plan
Building Elevations
Housing Analysis
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a n **ordinance** for a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1102-acre parcel of land identified as a Lot 40 of the Chandler's Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 418 Columbia Drive, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Vanio Dilov
CASE NUMBER: Z2021-045; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1102-acre parcel of land identified as a Lot 40 of the Chandler's Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 418 Columbia Drive.

BACKGROUND

On July 9, 1973, a final plat for Phase 2 of the Chandler's Landing Subdivision was filed with Rockwall County. This established the subject property as Lot 40 of Chandler's Landing Phase 2 Addition. The subject property -- *along with the rest of the Chandler's Landing Subdivision* -- was annexed into the City of Rockwall and zoned Agricultural (AG) District on October 29, 1973 [*Ordinance No. 73-43*]. On November 12, 1973, the subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was originally platted.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located 418 Columbia Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 14 of the Chandler's Landing Subdivision, which was platted in 1984 and consists of 41 single-family residential lots. Beyond this is Chandler's Landing Community Park. All of these properties are zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property is a continuation of Phase 2 of the Chandler's Landing Subdivision. Beyond this is Yacht Club Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a continuation of Phase 2 of the Chandler's Landing Subdivision. Phase 14 of the Chandler's Landing Subdivision, which was platted in 1984 and consists of 41 single-family residential lots. Beyond this is Phase 3 of the Chandler's Landing Subdivision, which was platted in 1973 and consists of 43 single-family residential lots. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is a continuation of Phase 2 of the Chandler's Landing Subdivision. Beyond this is Phase 4 of the Chandler's Landing Subdivision, which was platted in 1997 and consists of 24 single-family

residential lots. West of this is Yacht Club Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within Phase 2 of the Chandler’s Landing Subdivision. This subdivision has been in existence since 1973, consists of 43 lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 8 (PD-8) for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Columbia Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Columbia Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story and Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face southwest towards Columbia Drive.
Year Built	1979-2007	N/A
Building SF on Property	1,758 SF – 3,503 SF	2,094 SF
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 25-Feet minimum	25-Feet
Side	The side yard setbacks are 0 to 5-Feet minimum	5-Feet
Rear	The rear yard setbacks are 10-Feet minimum	20-Feet
Building Materials	Brick, Stone, & Wood	Brick
Paint and Color	Brown, Tan, Blue, White, & Beige	N/A
Roofs	Composite Shingle	Composite Shingle
Driveways/Garages	Flat-Front Entry	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage four (4) feet, six (6) inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Chandler’s Landing Phase 2 Addition in the past.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the single-family homes as stipulated by Planned Development District 8 (PD-8) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Columbia Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 22, 2021, staff notified 97 property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, the Cabana's at Chandler's Landing, Match Point Townhomes, Signal Ridge, and the Spyglass Homeowners Association (HOA's), which are the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021 the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-045

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 418 COLUMBIA DR. ROCKWALL TX.

SUBDIVISION CHANDLERS LANDING PH. 2 LOT 40 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER VANIO DILOV APPLICANT

CONTACT PERSON VANIO DILOV CONTACT PERSON

ADDRESS 2717 LAKEWOOD DR. ADDRESS

CITY, STATE & ZIP ROWLETT TX. 75088 CITY, STATE & ZIP

PHONE 972-672-7777 PHONE

E-MAIL E-MAIL

NOTARY VERIFICATION [REQUIRED]

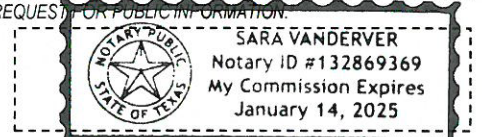
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature] [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6 DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF October, 2021.


OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Sara Vanderver



MY COMMISSION EXPIRES 1-14-2025

0 12.5 25 50 75 100 Feet

Z2021-045- SUP FOR RESIDENTIAL INFILL
AT 418 COLUMBIA
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

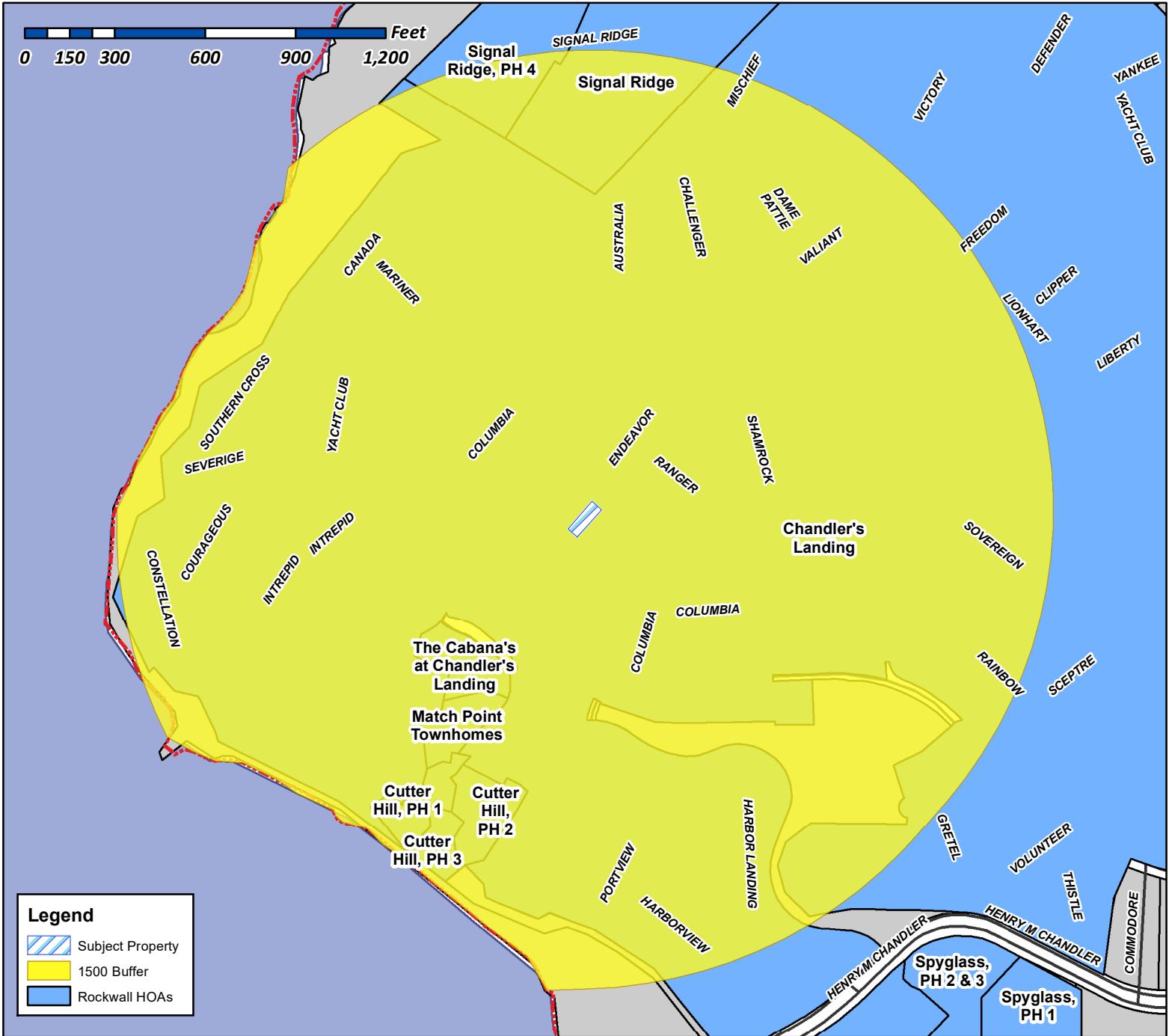
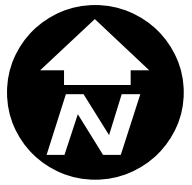




City of Rockwall

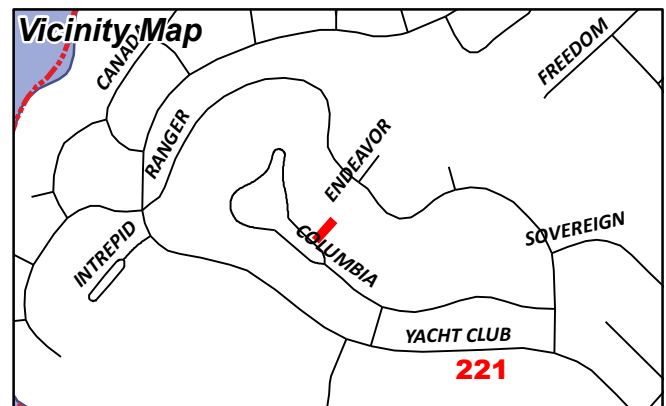
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2021-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 418 Columbia Drive

Date Created: 10/18/2021
 For Questions on this Case Call (972) 771-7745



From: Gamez, Angelica
Sent: Friday, October 22, 2021 9:31 AM
Cc: Miller, Ryan; Lee, Henry; Reyna, Andrew
Subject: Neighborhood Notification Program [Z2021-045]
Attachments: Public Notice (10.20.2021).pdf; HOA Map (10.15.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on October 29, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-045: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1102-acre parcel of land identified as a Lot 40 of the Chandler's Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 418 Columbia Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

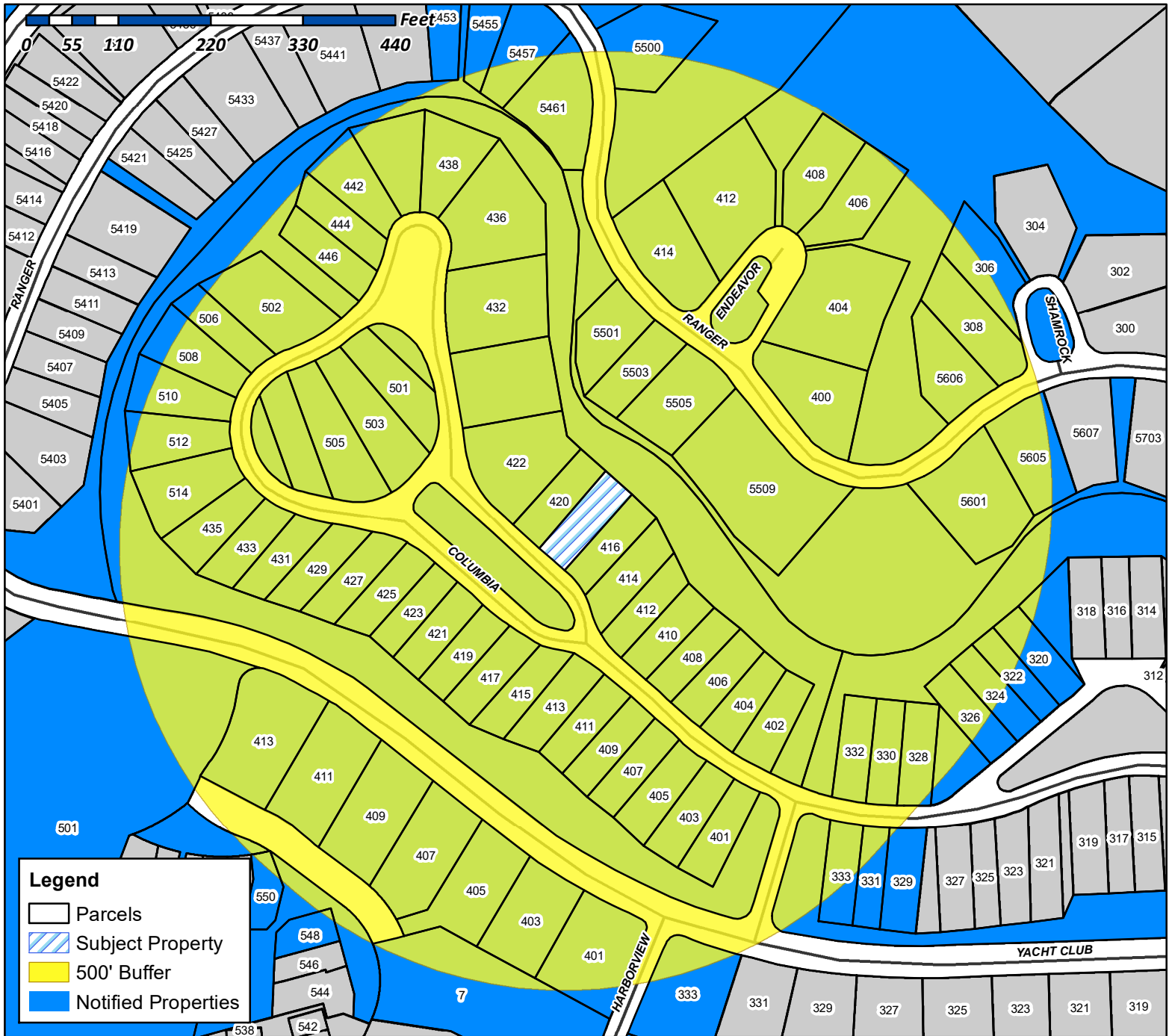
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

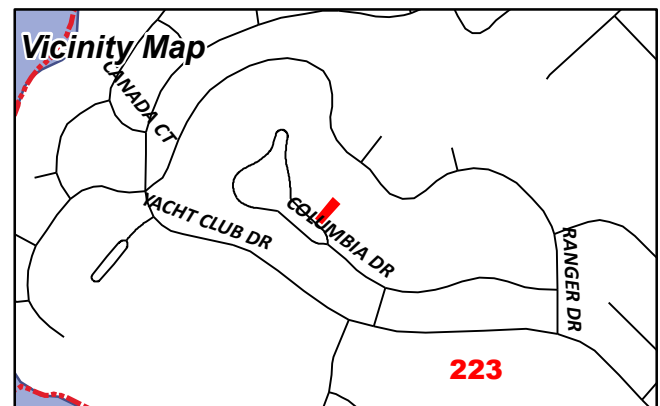
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Case Number: Z2021-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 418 Columbia Drive

Date Created: 10/18/2021

For Questions on this Case Call (972) 771-7745



KELLY DONNA
102 E MOORE AVE STE 245
TERRELL, TX 75160

RIDGECREST HOMEOWNERS ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

WATTERSON RONALD AND MICHAEL M
SAMBOGNA
2011 CEDAR SPRINGS R 604 2011 CEDAR
SPRINGS
DALLAS, TX 75201

DILOV VANIO
2717 LAKEWOOD
ROWLETT, TX 75088

WATTERSON RONALD AND MICHAEL M
SAMBOGNA
306 SHAMROCK CIR
ROCKWALL, TX 75087

FRY RANOR C AND NORMA L
308 SHAMROCK CIRCLE
ROCKWALL, TX 75032

STURGEON WILLIAM C & BETTY E
320 COLUMBIA DR
ROCKWALL, TX 75032

WEBSTER ALAN T
322 COLUMBIA DR
ROCKWALL, TX 75032

LIKE LARRY D & MELISA L
324 COLUMBIA DRIVE
ROCKWALL, TX 75032

JACKSON JAMES THOMAS AND SONYA K
326 COLUMBIA
ROCKWALL, TX 75032

BREEDLOVE STEPHEN WENN & NEITA P
328 COLUMBIA DRIVE
ROCKWALL, TX 75032

ANDERS LYNN M
329 COLUMBIA DRIVE
ROCKWALL, TX 75032

OLEKSINSKI MICHAEL A
330 COLUMBIA DR
ROCKWALL, TX 75032

BOOKHOUT JAMES C AND NICOLE
331 COLUMBIA DRIVE
ROCKWALL, TX 75032

HURST RANDY L & CAROL J
332 COLUMBIA DR
ROCKWALL, TX 75032

BISHOP J PHIL
333 COLUMBIA DR
ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN
333 YACHT CLUB DR
ROCKWALL, TX 75032

LEPARD RICHARD L
400 ENDEAVOR CT
ROCKWALL, TX 75032

BAXTER STEVE & KARAN
401 COLUMBIA DR
ROCKWALL, TX 75032

BAXTER STEVE & KARAN
401 COLUMBIA DR
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

MOULEDOUS ALFRED E JR
402 COLUMBIA DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

SN DFW LLC
404 COLUMBIA DR
ROCKWALL, TX 75087

HEIN PRISCILLA
404 ENDEAVOR CT
ROCKWALL, TX 75032

CENSULLO FRANCIS
405 COLUMBIA DR
ROCKWALL, TX 75032

FULLER JULIE
405 YACHT CLUB DR
ROCKWALL, TX 75087

HUGHES THOMAS AND MADISON
406 COLUMBIA DR
ROCKWALL, TX 75032

HURTADO DAVID RAY II AND
AIKO MINEMOTO
406 ENDEAVOR CT
ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A
407 COLUMBIA DR
ROCKWALL, TX 75087

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TULK SHERRY
408 COLUMBIA DR
ROCKWALL, TX 75032

FARR MATTHEW & AMBER
408 ENDEAVOR COURT
ROCKWALL, TX 75032

SCHREIBER JIMMY D & INEZ
409 COLUMBIA DR
ROCKWALL, TX 75032

BAKER JARROD J & HEATHER M
409 YACHT CLUB DR
ROCKWALL, TX 75032

NELSON JERRY C & MARIBETH TRUSTEES
NELSON FAMILY LIVING TRUST
410 COLUMBIA DR
ROCKWALL, TX 75032

CHRISTENSEN DAVID J & STACEY
411 COLUMBIA DRIVE
ROCKWALL, TX 75032

WATSON JARRETT A
411 YACHT CLUB DR
ROCKWALL, TX 75032

MARTIN MAX E
412 COLUMBIA DR
ROCKWALL, TX 75032

COMPTON WILLIAM H & JAYNE
412 ENDEAVOR CT
ROCKWALL, TX 75032

HYDEMAN ROBERT B JR
413 COLUMBIA DR
ROCKWALL, TX 75032

MACGILVARY ERIN
413 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KERR DALE LESLIE AND SUSAN ALLEN
414 COLUMBIA DRIVE
ROCKWALL, TX 75032

LILES MICHAEL AND JO ANN
414 ENDEAVOR CT
ROCKWALL, TX 75032

WHITTEN DON AND PATRICE
415 COLUMBIA DR
ROCKWALL, TX 75032

STEVENSON LARRY KEITH
416 COLUMBIA DR
ROCKWALL, TX 75032

BOSWELL RAE ANN AND
AND LUKE SHAFER
417 COLUMBIA DR
ROCKWALL, TX 75032

JORDAN PAMELLA W
419 COLUMBIA DR
ROCKWALL, TX 75032

BREWER JAMES ASHLEY JR
420 COLUMBIA DR
ROCKWALL, TX 75032

THOMPSON FRED AND LINDA
421 COLUMBIA DRIVE
ROCKWALL, TX 75032

#23 INVESTMENTS LLC
422 COLUMBIA DR
ROCKWALL, TX 75087

BRIGHT CHRISTOPHER J JOHN
423 COLUMBIA DR
ROCKWALL, TX 75032

HANKINS MICHAEL L & VICKI S
425 COLUMBIA DR
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

ROLAND JAMES & DEBRA JAN
429 COLUMBIA DR
ROCKWALL, TX 75032

KELLY DONNA
431 COLUMBIA DR
ROCKWALL, TX 75087

DUDEK PROPERTIES LLC
432 COLUMBIA DR
ROCKWALL, TX 75032

DUDEK JOHN F AND JENNIFER H
432 COLUMBIA DR
ROCKWALL, TX 75032

GESSNER JOHN B
433 COLUMBIA DR
ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J
435 COLUMBIA DR
ROCKWALL, TX 75032

MORRISON DEBRA
436 COLUMBIA DR
ROCKWALL, TX 75032

BENSON CURT R
438 COLUMBIA DRIVE
ROCKWALL, TX 75032

STOUFFER JAMES MITCHELL AND AMY ALLEN
442 COLUMBIA DR
ROCKWALL, TX 75032

PAYNE JOHN R
444 COLUMBIA DR
ROCKWALL, TX 75032

ARMSTRONG D
446 COLUMBIADR
ROCKWALL, TX 75087

UDSTUEN ERIKA ANN
501 COLUMBIA DRIVE
ROCKWALL, TX 75032

CHANDLERS LANDING COMMUNITY ASSOC
501 YACHT CLUB DR
ROCKWALL, TX 75087

UDSTUEN STEPHEN A AND JENNIFER
502 COLUMBIA DR
ROCKWALL, TX 75032

WOMBLE JOHN
503 COLUMBIA DRIVE
ROCKWALL, TX 75032

TURSCHAK JAIME
505 COLUMBIA DRIVE
ROCKWALL, TX 75032

IRWIN PATRICIA ANN
506 COLUMBIA DRIVE
ROCKWALL, TX 75032

BLAKELY DENNIS DALE AND SARA ALLEN
508 COLUMBIA DRIVE
ROCKWALL, TX 75032

DEVINE GRAEME J & LORI
510 COLUMBIA DR
ROCKWALL, TX 75032

DEBENDER RACHEL M AND
MADELINE A GEARY
512 COLUMBIA DR
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
514 COLUMBIA DR
ROCKWALL, TX 75087

VAN AMBURGH GORDON D JR & JEANNE M
540 LOMA VIST
HEATH, TX 75032

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

GARCIA SERGIO AND
SAGRARIO MENA NAVA
5453 RANGER DR
ROCKWALL, TX 75032

MONTONEY LAUREN D
5455 RANGER DR
ROCKWALL, TX 75032

DOHERTY COURTNEY AND RYAN
5457 RANGER DRIVE
ROCKWALL, TX 75032

SOLOMON MARION C
5461 RANGER DR
ROCKWALL, TX 75032

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

BYRD MANUEL NICKLOUS & EVA RHINE
550 YACHT CLUB
ROCKWALL, TX 75032

AVIZENIS ANTHONY JR AND MICHELLE
5500 RANGER DRIVE
ROCKWALL, TX 75032

SCHULTZ KATHY L & LARRY R
5501 RANGER DR
ROCKWALL, TX 75032

DENNEY ZACHARY LEWIS
5503 RANGER DR
ROCKWALL, TX 75032

GARRETT TAYLOR B
5505 RANGER DR
ROCKWALL, TX 75032

LATIMER TAMMY & DONALD
5509 RANGER DR
ROCKWALL, TX 75032

MARTIN FREDERICK & SONJA
5601 RANGER DR
ROCKWALL, TX 75032

CLEVINGER JOHN
5605 RANGER DRIVE
ROCKWALL, TX 75032

2020 R K SANDKNOP REVOCABLE TRUST
RYAN TERRANCE SANDKNOP AND KATIE ANNE
SANDKNOP
5606 RANGER DRIVE
ROCKWALL, TX 75032

CHANDLERS LANDING COMMUNITY ASSOC
7 GREENBELT
ROCKWALL, TX 75087

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

MALLARD DAVID S & SHERRY A
PO BOX 156
TERRELL, TX 75160

#23 INVESTMENTS LLC
PO BOX 2292
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-045: SUP for Residential Infill at 418 Columbia Drive

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1102-acre parcel of land identified as a Lot 40 of the Chandler's Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 418 Columbia Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-045: SUP for Residential Infill at 418 Columbia Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

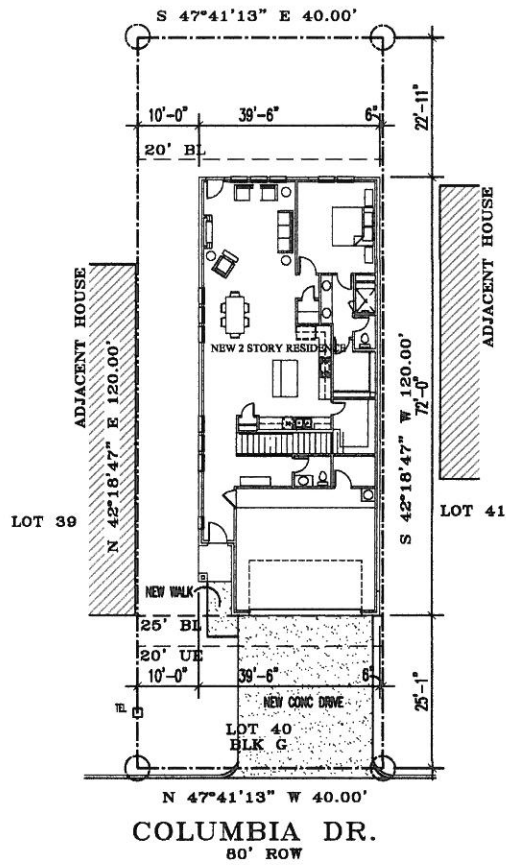
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

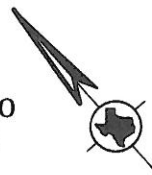
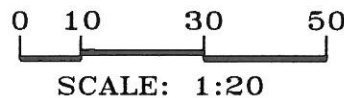


DESIGN DEVELOPMENT
SERVICES
ALLEN, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY DISCREPANCIES
PRIOR TO BEGINNING CONSTRUCTION



SPEC BUILD
LOT 40 CHANDLERS LAANDING PH 2
COLUMBIA DR.
ROCKWALL, TX 75032
ROCKWALL COUNTY



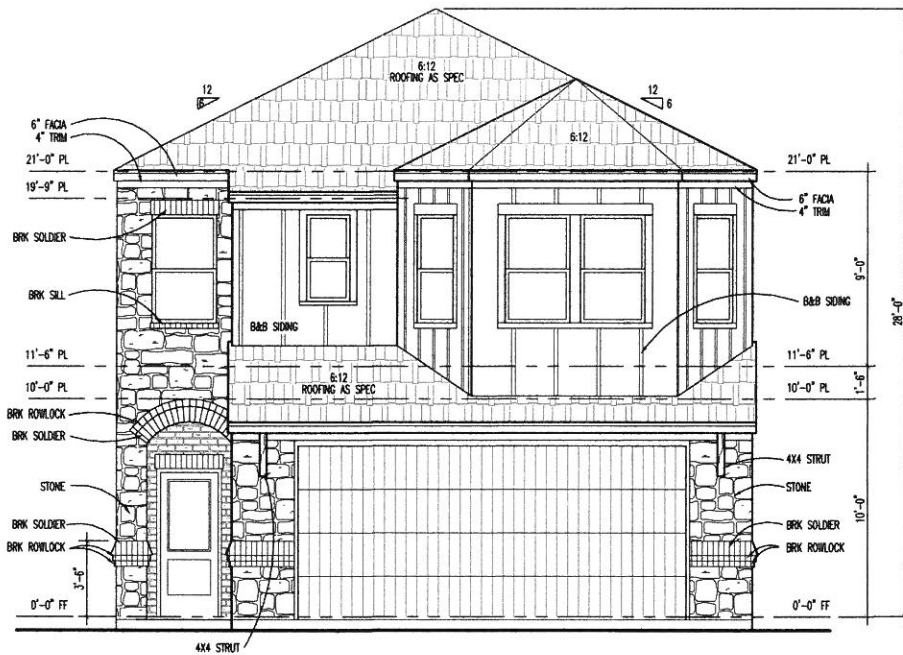
SITE PLAN

ZONING: SF
BLDG FOOTPRINT: 2,094 SQFT
LOT AREA: 4,800 SQFT
LOT COVERAGE: 43.6%

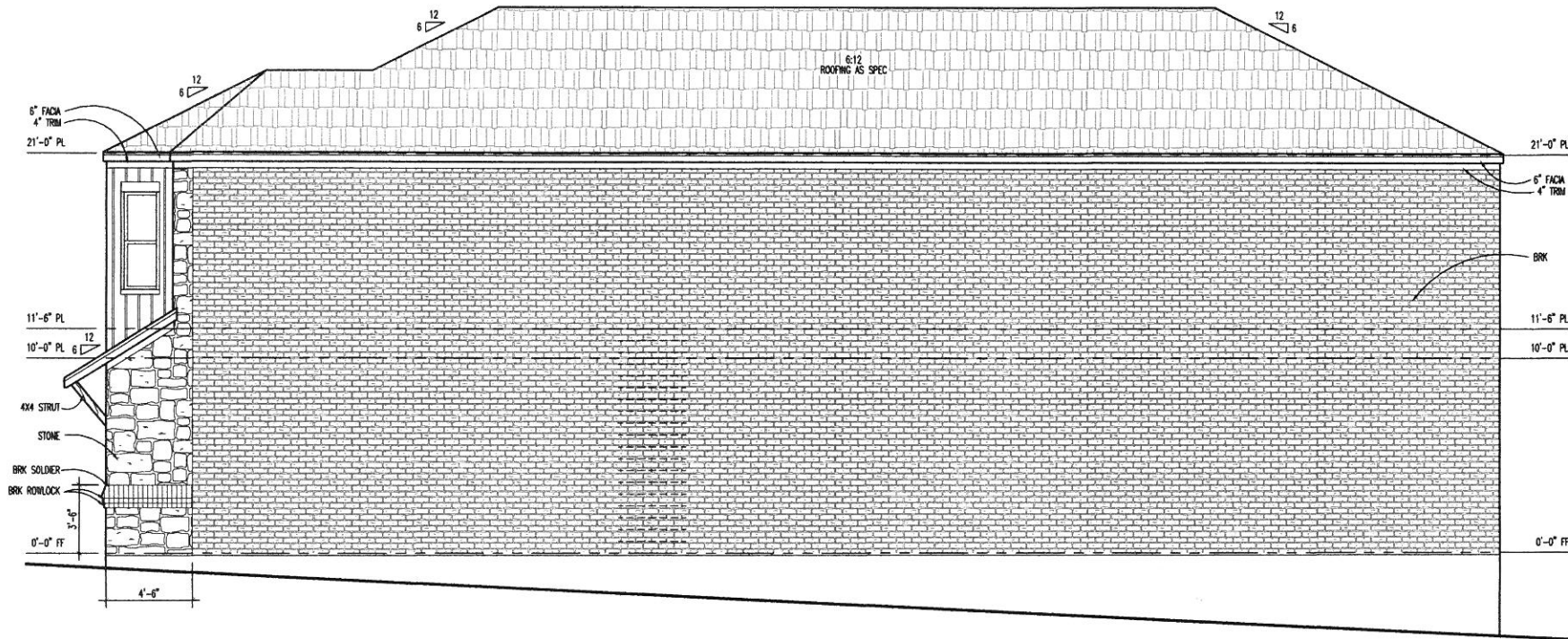
PLAT SITE

DATE: 8-28-21
229

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY DISCREPANCIES
PRIOR TO BEGINNING CONSTRUCTION



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



02 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

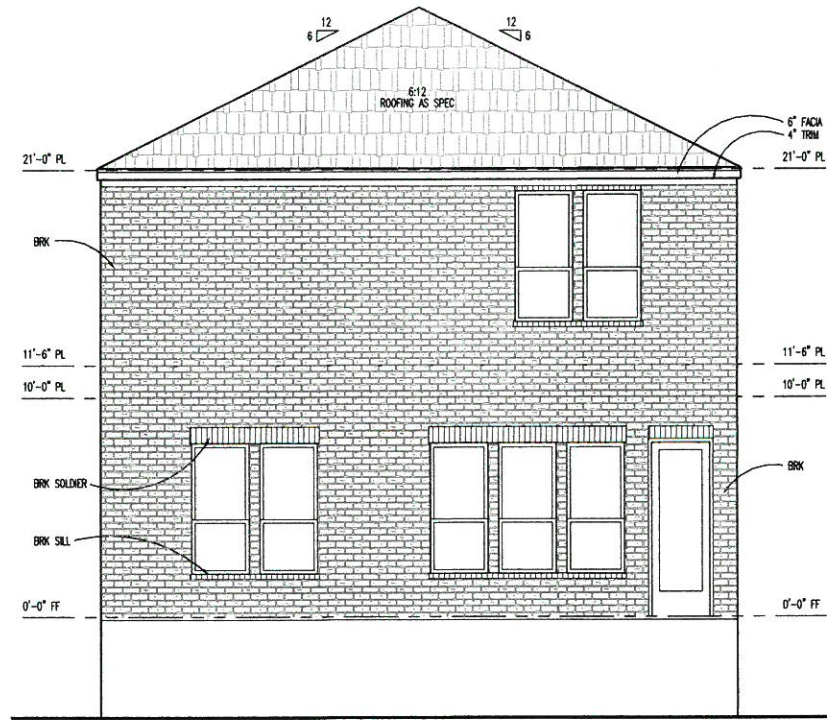
APPLICABLE CODES

INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ENERGY CONSERVATION CODE
INTERNATIONAL FIRE PREVENTION CODE	2015	NATIONAL ELECTRICAL CODE

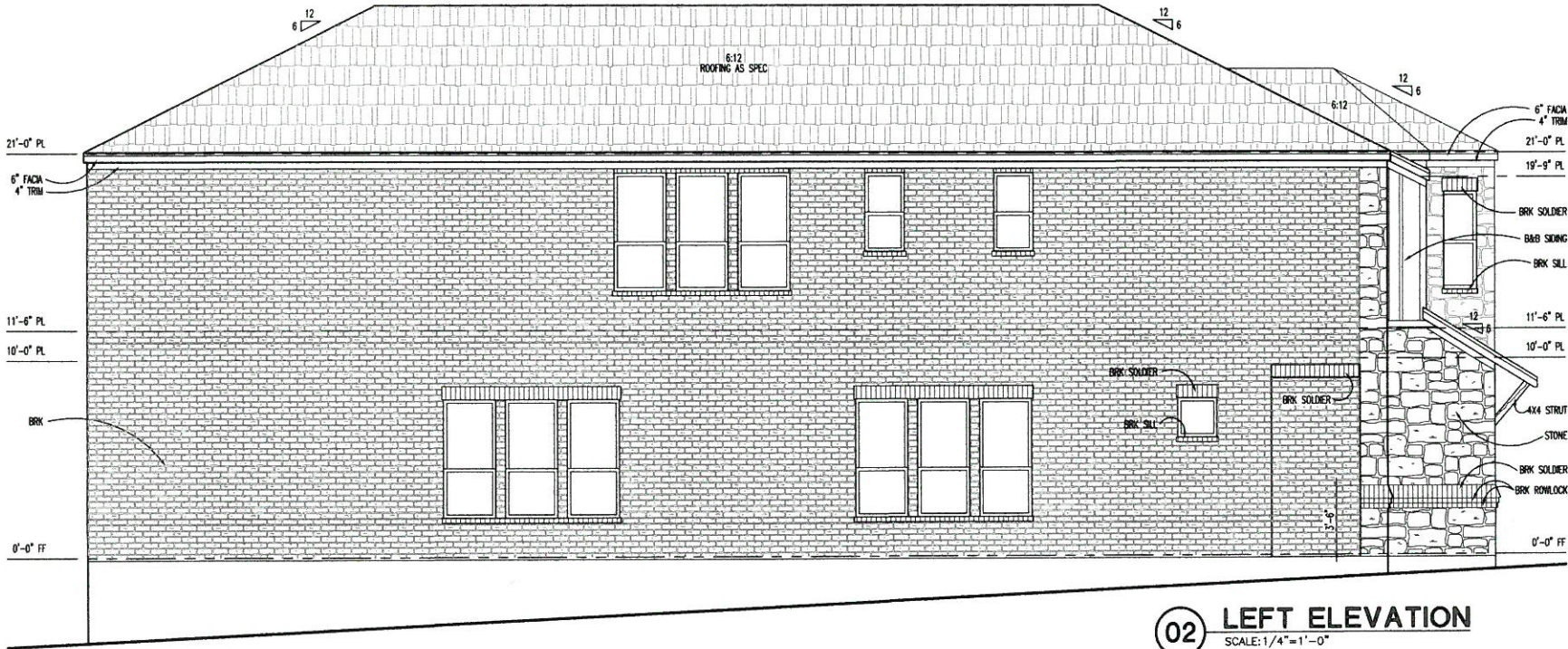
ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS

SPEC BUILD
LOT 40 CHANDLERS LAANDING PH 2
COLUMBIA DR.
ROCKWALL, TX 76032
ROCKWALL COUNTY

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY DISCREPANCIES
PRIOR TO BEGINNING CONSTRUCTION



01 REAR ELEVATION
SCALE: 1/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"

APPLICABLE CODES

INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE	2015
INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE	2015
INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ENERGY CONSERVATION CODE	2015
INTERNATIONAL FIRE PREVENTION CODE	2015	NATIONAL ELECTRICAL CODE	2017

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS

SPEC BUILD
LOT 40 CHANDLERS LAANDING PH 2
COLUMBIA DR.
ROCKWALL, TX 75032
ROCKWALL COUNTY

418 Columbia Drive: Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
409 Columbia Dr.	Single-Family Home	1984	2992	N/A	Stone/Wood
410 Columbia Dr.	Single-Family Home	2000	1852	N/A	Brick
411 Columbia Dr.	Single-Family Home	1983	3279.5	N/A	Brick/Wood
412 Columbia Dr.	Single-Family Home	1999	2302	N/A	Brick/Wood
413 Columbia Dr.	Single-Family Home	1979	3503	N/A	Brick
414 Columbia Dr.	Single-Family Home	1982	2879	N/A	Brick/Wood
415 Columbia Dr.	Single-Family Home	2005	3265	N/A	Brick/Stone
416 Columbia Dr.	Single-Family Home	1984	1930	N/A	Brick/Wood
417 Columbia Dr.	Single-Family Home	1992	3192	N/A	Brick/Wood
419 Columbia Dr.	Single-Family Home	1988	2930	N/A	Brick/Wood
420 Columbia Dr.	Single-Family Home	1986	1758	N/A	Brick/Wood
421 Columbia Dr.	Single-Family Home	1983	2808	N/A	Brick
422 Columbia Dr.	Single-Family Home	2007	3333	N/A	Brick
423 Columbia Dr.	Single-Family Home	1984	1876	N/A	Brick
425 Columbia Dr.	Single-Family Home	1995	3101	N/A	Stone/Wood
501 Columbia Dr.	Single-Family Home	1997	2505.5	N/A	Brick/Wood
503 Columbia Dr.	Single-Family Home	2007	2772	N/A	Brick/Stone
505 Columbia Dr.	Single-Family Home	1984	3189	N/A	Brick/Wood
Averages:		1991	2748.17		

409 Columbia Drive



410 Columbia Drive



411 Columbia Drive



412 Columbia Drive



413 Columbia Drive



414 Columbia Drive



415 Columbia Drive



416 Columbia Drive



417 Columbia Drive



419 Columbia Drive



420 Columbia Drive



421 Columbia Drive



422 Columbia Drive



423 Columbia Drive



425 Columbia Drive



501 Columbia Drive



503 Columbia Drive



505 Columbia Drive



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 84-04*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1102-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 40 OF THE CHANDLERS LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.1102-acre parcel of land identified as Lot 40 of the Chandlers Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 418 Columbia Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) [*Ordinance No. 84-04*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) [*Ordinance No. 84-04*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) [Ordinance No. 84-04] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

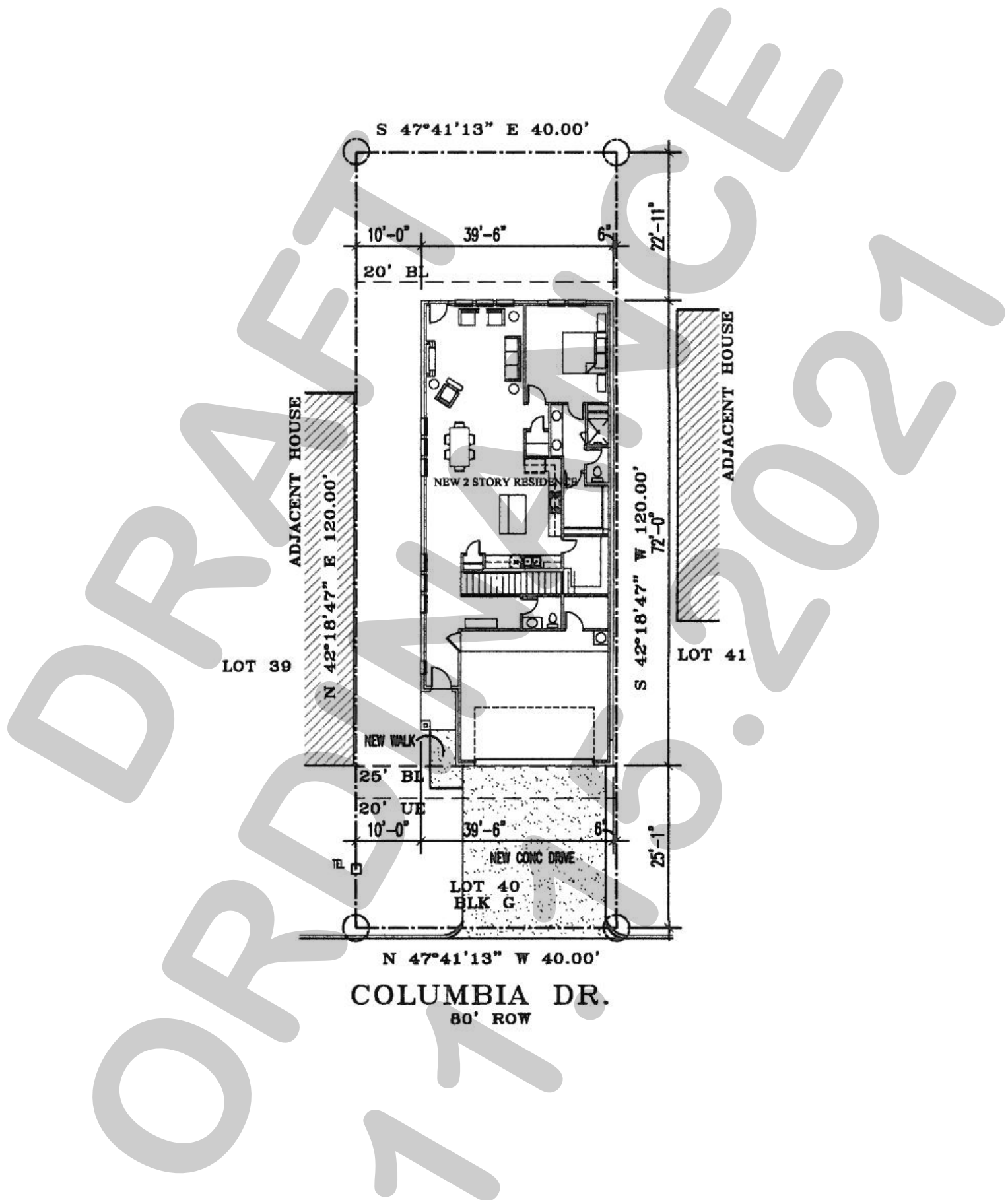
1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Address: 418 Columbia Drive

Legal Description: Lot 40 of the Chandlers Landing, Phase 2 Addition





S 47°41'13" E 40.00'

10'-0" 39'-6" 6"

20' BL

22'-11"

ADJACENT HOUSE

NEW 2 STORY RESIDENCE

ADJACENT HOUSE

LOT 39

N 42°18'47" E 120.00'

S 42°18'47" W 120.00'

LOT 41

NEW WALK

25' BL

20' UE

10'-0" 39'-6" 6"

NEW CONC DRIVE

25'-1"

LOT 40
BLK G

N 47°41'13" W 40.00'

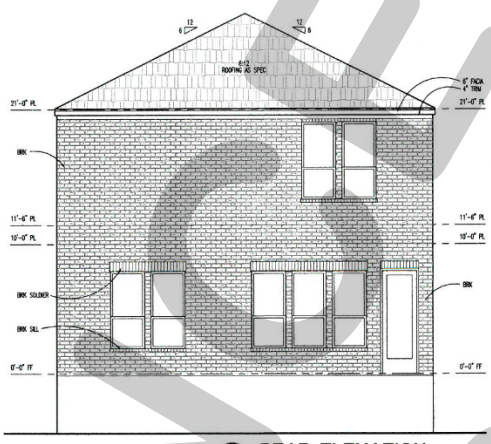
COLUMBIA DR.
80' ROW

D&L

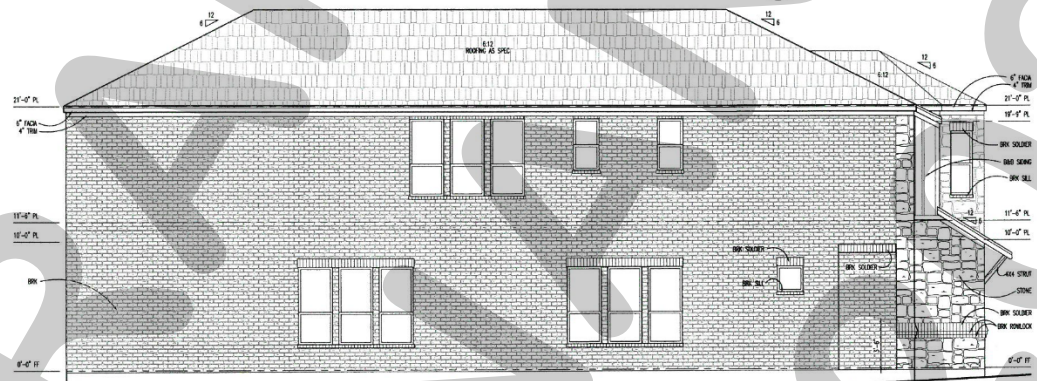
DESIGN DEVELOPMENT SERVICES
 PLANO, TX 75042
 PLOT: 224315N-5003

DO NOT SCALE DRAWINGS
 CONSTRUCTION TO VERIFY
 ALL DIMENSIONS AND
 FINISHES. VERIFY ALL
 DIMENSIONS AND FINISHES
 FROM THE EXISTING CONDITIONS
 FROM THE EXISTING CONDITIONS

APPLICABLE CODES
 2015 INTERNATIONAL RESIDENTIAL CODE
 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE
 2015 INTERNATIONAL ELECTRICAL CODE
 2015 INTERNATIONAL FIRE PREVENTION AND PROTECTION CODE
 2015 INTERNATIONAL ENERGY EFFICIENCY CODE
 ALL CONTRACTORS SHALL VERIFY ALL APPLICABLE CODES AND PERFORM ALL WORK TO COMPLY WITH PERMITS AND ALL LOCAL ORDINANCES.



01 REAR ELEVATION
 SCALE: 1/4"=1'-0"



02 LEFT ELEVATION
 SCALE: 1/4"=1'-0"

APPLICABLE CODES
 2015 INTERNATIONAL RESIDENTIAL CODE
 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE
 2015 INTERNATIONAL ELECTRICAL CODE
 2015 INTERNATIONAL FIRE PREVENTION AND PROTECTION CODE
 2015 INTERNATIONAL ENERGY EFFICIENCY CODE
 ALL CONTRACTORS SHALL VERIFY ALL APPLICABLE CODES AND PERFORM ALL WORK TO COMPLY WITH PERMITS AND ALL LOCAL ORDINANCES.

A4
 DATE - 8-28-21

ORDINANCE 17.15



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: Z2021-046; SPECIFIC USE PERMIT (SUP) ALLOWING TWO (2) AGRICULTURAL ACCESSORY BUILDINGS AND AN ANIMAL SHELTER/LOAFING AT 1700 E. SH-66

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Location Map of Structures
Applicant's Letter
Applicant's Pictures
Pictures from Z2018-049 & Z2018-053
Applicant's Plan
Minutes from Previous City Council Meetings
Expired SUP Ordinance
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a n **ordinance** for a *Specific Use Permit (SUP)* allowing two (2) *Agricultural Accessory Buildings* and an *Animal Shelter/Loafing Shed* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Mike Peoples
CASE NUMBER: Z2021-046; *Specific Use Permit (SUP) for Agricultural Accessory Buildings and an Animal Shelter or Loafing Shed*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific Use Permit (SUP) for two (2) *Agricultural Accessory Buildings* and an *Animal Shelter/Loafing Shed* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-007]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. This zoning designation has not changed since its adoption in 1998. According to the Rockwall Central Appraisal District (RCAD) currently situated on the subject property is: [1] a 3,836.50 SF single-family home that was constructed in 2010, [2] a ~2,500 SF barn that was constructed in 2017, [3] a ~4,000 SF barn constructed in 2017, and [4] a swimming pool constructed in 2019.

On October 24, 2018, the Building Inspections Department proactively recognized a structure (*i.e. an Animal Shelter/Loafing Shed*) being constructed without a permit on the subject property. The Building Inspections Department then proceeded to confer with Planning Department regarding the requirements for building a structure on the subject property. During this meeting, additional structures were found to exist based on aerial images dating back to 2013. These images depicted two (2) additional structures that were constructed without building permits. The aerial image indicated that one (1) of these structures -- *an Accessory Building* -- lied within the 100-year floodplain. The other structure was a *Detached Garage* that had been enlarged on at least two (2) separate occasions (*i.e. aerial images indicate that the structure was enlarged in December 2015 and September 2017*). City records indicated that no permits were requested for the construction of either of these structures or the following additions. Subsequently, the Building Inspections Department issued a *Stop Work Order* on October 25, 2018 for the *Animal Shelter/Loafing Shed*, requiring the applicant to submit a Specific Use Permit (SUP) and building permits for the *Animal Shelter*, *Detached Garage*, and *Accessory Building*. On November 6, 2018, the applicant applied for a Specific Use Permit (SUP) and building permit for the *Animal Shelter/Loafing Shed*. On November 19, 2018, the applicant applied for a Specific Use Permit (SUP) and building permit for the *Detached Garage*. Staff should note that at the time these applications were submitted, the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) did not allow *Accessory Buildings* in an Agricultural (AG) District, and based on this -- *coupled with the fact that the Accessory Building was wholly situated within a 100-year floodplain* -- staff required that the *Accessory Building* be removed from the subject property.

On December 17, 2018, the City Council reviewed the Specific Use Permit (SUP) cases for the *Animal Shelter/Loafing Shed* [Case No. Z2018-049] and *Detached Garage* [Case No. Z2018-053]. Ultimately, the City Council continued (*i.e. postponed*) the public hearing for the *Animal Shelter/Loafing Shed* -- *for the purpose of allowing the applicant time to get a survey of the subject property completed* --, and failed to adopt a motion to approve the *Detached Garage* by a vote of 2-5 (*with Council Members Trowbridge, Hohenshelt, Pruitt, Daniels, and Johannesen dissenting*). Some of the major concerns stated by staff and the City Council at the time of consideration were the fact that the proposed *Detached Garage* was constructed without a permit and that it did not conform to the building material requirements that were in place at the time. On January 7, 2019, the City Council continued the public hearing for the *Animal Shelter/Loafing Shed*. The City Council adopted a motion requiring

that additional operational conditions be added to the Specific Use Permit (SUP) ordinance to include the removal of the *Detached Garage and Accessory Building* within six (6) months of the adoption of the ordinance. The Specific Use Permit (SUP) ordinance [Ordinance No. 19-06; S-204] was adopted by the City Council on January 22, 2019 by a vote of 7-0. Staff has provided the minutes from these meetings and the adopted Specific Use Permit (SUP) ordinance [Ordinance No. 19-06] for the Planning and Zoning Commission and City Council's review.

On June 22, 2020, the Specific Use Permit (SUP) [S-204] expired due to inactivity in accordance with Subsection 02.02(D) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) and the terms of Ordinance No. 19-06. At the time of expiration -- and due to the COVID-19 situation creating a backlog in the court system --, the three (3) citations written on August 1, 2019 [Case No. CE1546] had not been resolved and no fine had been issued. Based on this staff reengaged the applicant to try and work through the issues, and in August 2021 the applicant approached staff about resubmitting a Specific Use Permit (SUP) request. At the time, the City Council was considering an additional application fee for *Non-Compliant Structures*, and based on this staff requested that the applicant wait to make application until this new ordinance was in place. The *Non-Compliant Structure Fee* was adopted into Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) on September 7, 2021. Following this approval, the applicant submitted a Specific Use Permit (SUP) application on October 15, 2021.

In considering this new application, staff should point out that there have been two (2) substantial changes to the Unified Development Code (UDC) that change the way the applicant's request can be considered: [1] the addition of a land use for *Agricultural Accessory Buildings* was added to the *Permissible Use Charts* in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and [2] HB2439 was adopted as part of the 86th Legislative Session effectively restricting a City from enforcing or adopting regulations that prohibit or limit -- *directly or indirectly* -- the use or installation of a building product or material in the construction or renovation of residential and commercial buildings (*these changes are further explained in the Conformance with the City's Codes section of this case memo*). These two (2) changes allow both the *Detached Garage and Accessory Building* to be considered by Specific Use Permit (SUP) as *Agricultural Accessory Buildings*, and brings all of the buildings into closer compliance with the new requirements of the Unified Development Code (UDC).

PURPOSE

The applicant -- *Mike Peoples* -- is requesting the approval of a Specific Use Permit (SUP) to allow two (2) *Agricultural Accessory Buildings* and an *Animal Shelter or Loafing Shed* in accordance with the requirements of Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). Staff should note that since these structures were previously constructed, the *Non-Compliant Structure Fee* was added to the application fees for this case in accordance with Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1700 E. SH-66. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is SH-66, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 4.479-acre tract of land (*i.e. Tract 25-2 of the W. M. Dalton Survey, Abstract No 72*) with several legally non-conforming buildings that have multiple businesses in them (*e.g. Classic Rock Stone Yard, Auto Glass by Jerry, Special D Automotive, and etc.*). North of this is an 11.965-acre tract of vacant land (*i.e. Tract 25 of the W. M. Dalton Survey, Abstract No. 72*). All of these properties are zoned Agricultural (AG) District.

South: Directly south of the subject property is a 12.00-acre tract of vacant land (*i.e. a portion of Tract 21 of the D. Harr Survey, Abstract No. 102*), which is also owned by the applicant. South of this tract is a 5.96-acre tract of vacant land (*i.e. a portion of Tract 21 of the D. Harr Survey, Abstract No. 102*) and a one (1) acre tract of land (*i.e. Tract 21-01 of the D. Harr Survey, Abstract No. 102*) with a single-family home situated on it. Beyond this is Airport Road, which is identified as a MAU (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are 14 single-family homes situated on 15 tracts of land (i.e. Tracts 1, 3, 8, 10, 11, 11-01, 11-03, 11-4, 11-5, 12, 13, 16, 17, & 19 of the D. Harr Survey, Abstract No. 102 and Lot 1, Block A, Widboom Addition). Also, east of the subject property is a 64.514-acre tract of land (i.e. Tract 15 of the D. Harr Survey, Abstract No. 102) that is owned by the City of Rockwall. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property is the Ralph Hall Municipal Airport, which is situated on a 47.89-acre parcel of land (i.e. Lot 1 of the Rockwall Municipal Airport) zoned Agricultural (AG) District. Beyond this are two (2) vacant tracts of land (i.e. Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183) zoned Planned Development District 71 (PD-71) for Commercial (C) District land uses. West of these tracts is John King Boulevard, which is identified as a P6D (i.e. principal arterials, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and an applicant's letter requesting that the City Council grant a Specific Use Permit (SUP) allowing: [1] an existing ~3,600 - ~4,000 SF *Agricultural Accessory Building*, [2] the relocation of an existing ~1,800 SF *Agricultural Accessory Building*, and [3] an existing ~2,720 SF *Animal Shelter or Loafing Shed*. The characteristics and locations of these buildings is as follows:

Animal Shelter or Loafing Shed: Depicted as Building #1 on the Ordinance Exhibit 'B'

The *Animal Shelter or Loafing Shed* is approximately 40-feet by 68 feet (or ~2,720 SF) and is constructed out of metal R-Panel. It is estimated that the existing structure is setback between 40-feet and 50-feet from the front property line adjacent to SH-66. The structure is approximately 15-feet in height. In front of the *Animal Shelter or Loafing Shed* is a bulk feed bin, which is estimated to stand approximately 13-feet in height and is setback approximately 45-feet from the front property line.



Agricultural Accessory Building: Depicted as Building #2 on the Ordinance Exhibit 'B'

The existing *Agricultural Accessory Building*, situated in the southwest corner of the subject property, is estimated to be between ~3,600 SF and ~4,000 SF (i.e. the main portion of the structure is ~40-feet by ~60-feet and the addition to the southwest is estimated to be ~20-feet by ~60-feet). The structure is built out of a combination of shipping containers, wood siding, and metal R-Panel. A portion of the structure is currently built on the rear yard property line of the subject property and violates the minimum ten (10) foot setback for rear yards stipulated by the Agricultural (AG) District standards contained in the Unified Development Code (UDC). Currently, the structure does not have any visibility from adjacent properties with the exception of the Ralph Hall Municipal Airport, where a portion of the structure is visible from the northern most point of the southeast taxiway.



Agricultural Accessory Building: Depicted as Building #3 & #4 on the Ordinance Exhibit 'B'

The existing *Agricultural Accessory Building*, situated in the southeast corner of the subject property, is wholly located within the 100-year floodplain. This structure is estimated to be ~1,800 SF (or ~30-feet by ~60-feet). The structure is constructed utilizing metal *R-Panel*, and is estimated to be less than 15-feet in height. The applicant is proposing to move this structure out of the floodplain on to the property directly south of the subject property (i.e. a portion of Tract 21 of the D. Harr Survey, Abstract No. 102). This new location would be in conformance with the setback requirements for the Agricultural (AG) District contained in the Unified Development Code (UDC), and would not have any visibility to adjacent properties.



CONFORMANCE WITH THE CITY'S CODES

On January 7, 2019, the City Council -- in response to an appointment with Dewayne Cain -- directed staff to change the Unified Development Code (UDC) to incorporate an *Agricultural Accessory Building* land use into Article 04, *Permissible Uses*. Based on this direction staff brought forward the requested changes on February 19, 2019, and the City Council adopted the new land use and operational conditions on March 4, 2019 through *Ordinance No. 19-12*. According to this new ordinance (consolidated in Section 02.03, *Conditional Land Use Standards, of Article 04, Permissible Uses, of the Unified Development Code [UDC]*) a *Barn or Agricultural Accessory Building* is permitted by a Specific Use Permit (SUP) in an Agricultural (AG) District subject to the following *Conditional Land Use Standards*:

- (1) The property shall be a minimum of ten (10) acres or more in size.
- (2) A *Barn or Agricultural Accessory Building* shall be a minimum of 2,000 SF and a maximum of 4,999 SF in total size (i.e. under roof).
- (3) The *Barn or Agricultural Accessory Building* shall be located behind the front façade of the primary structure, and be subject to the same building setbacks as the primary structure.

Staff has placed a table below (i.e. Table 1: *Subject Property's Current Conformance with the Conditional Land Use Standards for Agricultural Accessory Buildings*) showing how the two (2) *Agricultural Accessory Buildings* currently conform to the *Conditional Land Use Standards* stated above.

TABLE 1: SUBJECT PROPERTY'S CURRENT CONFORMANCE WITH THE CONDITIONAL LAND USE STANDARDS FOR AGRICULTURAL ACCESSORY BUILDINGS

CONDITIONAL USE STANDARD	AGRICULTURAL ACCESSORY BUILDING #2	AGRICULTURAL ACCESSORY BUILDING #3
MINIMUM LOT SIZE OF ONE (1) ACRE	42.66-ACRES; <i>IN CONFORMANCE</i>	42.66-ACRES; <i>IN CONFORMANCE</i> ¹
BUILDING SHALL BE 2,000 SF < X < 4,999 SF	~2,720 SF; <i>IN CONFORMANCE</i>	~1,800 SF; <i>NOT IN CONFORMANCE</i>
LOCATED BEHIND THE FRONT FACADE	YES; <i>IN CONFORAMNCE</i>	YES; <i>IN CONFORAMNCE</i>
MEETS SETBACK REQUIREMENTS	YES; <i>NOT IN CONFORMANCE</i> ²	YES; <i>IN CONFORMANCE</i> ³

NOTES:

- ¹: AFTER THE PROPERTY IS PLATTED THE SUBJECT PROPERTY WILL BE APPROXIMATELY 53.96-ACRES.
- ²: AFTER THIS PROPERTY IS PLATTED THE APPLICANT'S REQUEST WILL BE IN COMPLIANCE WITH THIS REQUIREMENT.

3: A CONDITION OF THE SPECIFIC USE PERMIT (SUP) ORDINANCE IS THAT WHEN THIS STRUCTURE IS MOVED IT WILL MEET THE MINIMUM SETBACKS FOR THE AGRICULTURAL (AG) DISTRICT.

With regard to an *Animal Shelter or Loafing Shed*, Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) states an *Animal Shelter or Loafing Shed* requires a Specific Use Permit (SUP) in an Agricultural (AG) District. There are currently no *Conditional Land Use Standards* for the *Animal Shelter or Loafing Shed* land use, and these uses are only subject to the Agricultural (AG) District development standards stipulated by Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 2: Subject Property's Current Conformance with the Agricultural (AG) District Standards* below.

TABLE 2: SUBJECT PROPERTY'S CURRENT CONFORMANCE WITH THE AGRICULTURAL (AG) DISTRICT STANDARDS

DEVELOPMENT STANDARDS		AGRICULTURAL (AG) DISTRICT	SUBJECT PROPERTY CONFORMANCE
ABBREVIATION		AG	AG
DWELLING UNITS/LOTS		1.0 ¹	1.0; <i>IN CONFORMANCE</i>
DWELLING UNITS/ACRE		0.1	0.023; <i>IN CONFORMANCE</i>
MINIMUM DWELLING UNIT (SF)		1,600	3,836.50 SF; <i>IN CONFORMANCE</i>
MINIMUM LOT REQUIREMENTS	AREA (SF)	43,560	1,858,269.60 SF; <i>IN CONFORMANCE</i>
	WIDTH (FEET)	100	718.50-FEET; <i>IN CONFORMANCE</i> ²
	DEPTH (FEET)	200	2,162.50-FEET; <i>IN CONFORMANCE</i> ³
MINIMUM SETBACKS	FRONT (FEET)	40	X ≥ 40-FEET; <i>IN CONFORMANCE</i>
	REAR (FEET)	10	0-FEET; <i>NOT IN CONFORMANCE</i> ⁴
	(SIDE (FEET)	6	~10-FEET; <i>IN CONFORMANCE</i>
BETWEEN BUILDINGS (FEET)		12	X > 10-FEET; <i>IN CONFORMANCE</i>
BUILDING HEIGHT (FEET)		36	X ≤ 36-FEET; <i>IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE (%)		N/A	<i>IN CONFORMANCE</i>

NOTES:

- 1: A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING.
- 2: AFTER THIS PROPERTY IS PLATTED THE MINIMUM LOT WIDTH WILL BE REDUCED TO 500.50-FEET; HOWEVER, THIS WILL NOT CHANGE THE COMPLIANCE OF THE LOT WITH THE AGRICULTURAL (AG) DISTRICT REQUIREMENTS.
- 3: AFTER THIS PROPERTY IS PLATTED THE MINIMUM LOT DEPTH WILL BE INCREASED TO 3,012.90-FEET.
- 4: AFTER THIS PROPERTY IS PLATTED THE APPLICANT'S REQUEST WILL BE IN COMPLIANCE WITH THIS REQUIREMENT.

Staff should note, that the existing *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* either currently conform to or will conform to the Unified Development Code (UDC) if the *Operational Conditions* in the Specific Use Permit (SUP) ordinance are enacted.

STAFF ANALYSIS

In the process of preparing this case memo and draft ordinance it was realized that the applicant had constructed a fourth unpermitted accessory structure between September 2019 and November 2020 (see *Images 1 - 3*). This new accessory building appears to be 15-feet by 20-feet (or 300 SF). In staff's conversations with the applicant, staff has learned that this structure is a portable chicken coop. According to Section 6-162, *Keeping, Confining and Breeding Regulations*, of the Municipal Code of Ordinances, "(i)t shall be unlawful to own or keep chickens, ducks, turkeys, geese, peacocks, or guinea hens within the corporate limits of the city except in agricultural zone districts." In addition, Subsection 03.01(B), *Other Animals*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), states that "(a)n SUP is required for other farm animals, including chickens ...". Staff has conveyed to the applicant that he will be required to submit an application for a Specific Use Permit (SUP)



IMAGE 1: CHICKEN COOP

for the chickens, and this has been added as a *Condition of Approval* in the *Conditions of Approval* section of this case memo. Staff should also note that the applicant indicated a willingness to bring this non-conformity into conformance.



IMAGE 2: SEPTEMBER 2019



IMAGE 3: NOVEMBER 2020

Staff is also obligated to point out that the applicant has been storing materials within the 100-year floodplain, which is not permitted under Chapter 11, *Flood Hazard Damage Prevention and Control*, of the City's Municipal Code of Ordinances (see Image 4). According to this ordinance, *Development* is defined as "...any man-made change to improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations or storage of equipment or materials." This

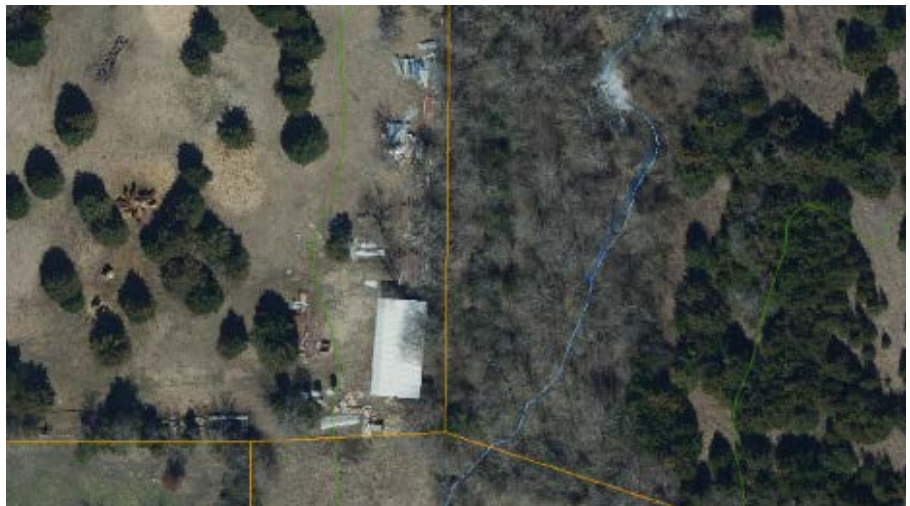


IMAGE 4: OUTSIDE STORAGE IN THE FLOODPLAIN

This ordinance also defines a *Violation* as "... the failure of a structure or other development to be fully compliant with the community's floodplain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance ... is presumed to be in violation until such time as that documentation is provided." In this case, no documentation has been provided showing compliance, and staff has verified per aerial imagery that the storage in the floodplain started around March 2015 and has been increasing annually. Staff has conveyed to the applicant that the outside storage will need to be removed, and the applicant has indicated that if approved he is amenable to removing the materials from the floodplain. As part of the *Operational Conditions* in the Specific Use Permit (SUP) ordinance, staff has included a requirement that all outside storage be removed from the floodplain prior to the issuance of any permits on the subject property.

With all this being said, when considering the size and visibility of the two (2) *Agricultural Accessory Buildings*, the applicant's request -- *if brought into conformance as stated in the Operational Conditions in the Specific Use Permit (SUP) ordinance* -- does not appear to negatively impact the adjacent properties. In addition, the *Animal Shelter or Loafing Shed* situated on SH-66 is similar to other *Animal Shelters or Loafing Sheds* on Clem Road and Cornelius Road, and does not appear to create a negative impact on any of the adjacent properties. Taking this into account, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff is obligated to note that should the City Council fail to approve this Specific Use Permit (SUP) request, the applicant will be required to remove all three (3) structures from the subject property or enforcement actions will be taken.

NOTIFICATIONS

On October 22, 2021, staff mailed 33 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadows Homeowner's Association (HOA), which was the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) notices/emails/letters within the 500-foot notification area in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Agricultural Accessory Buildings* and an *Animal Shelter or Loafing Shed*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The applicant is required to remove the outside storage that is currently situated around the *Agricultural Accessory Building (i.e. Building #3)* prior to the issuance of any permits on the *Subject Property*.
 - (b) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
 - (c) The *Agricultural Accessory Buildings* shall not exceed their current building footprints (*i.e. ~3,600 SF for Building #2 and ~1,800 SF for Building #3*).
 - (d) The *Animal Shelter or Loafing Shed (i.e. Building #1)* shall not exceed a maximum size of 3,000 SF.
 - (e) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed (i.e. Buildings #1, #2, & #3)* shall not exceed their current heights which are depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
 - (f) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed (i.e. Buildings #1, #2, & #3)* shall not be operated as of for commercial land uses.
 - (g) The applicant will be required to apply for three (3) building permits from the Building Inspections Departments for the *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed (i.e. Buildings #1, #2, & #3)* depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
 - (h) The existing *Agricultural Accessory Building* located in the floodplain on the *Subject Property*, as depicted as *Building #3* in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance, shall be moved to the location depicted as *Building #4* in *Exhibit 'B'* within six (6) months of the date of passage of the Specific Use Permit (SUP) ordinance and before building permits for *Building #1 & #2 -- depicted in Exhibits 'B' & 'C' --* are issued.
 - (i) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed (i.e. Buildings #1, #2, & #3)* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
 - (j) All buildings (*i.e. Buildings #1, #2, and #3/#4*) shall be required to meet all applicable setback requirements. This means that the subject property will need to be platted prior to the issuance of a building permit for *Building #2* as depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
 - (k) Should the applicant fail to meet any of the requirements of this Specific Use Permit (SUP) within one (1) year of the approval date of the Specific Use Permit (SUP) ordinance *Buildings #1, #2 and #3/#4* shall be removed from the *Subject Property* within six (6) months of the expiration date of the Specific Use Permit (SUP) ordinance.
- (2) The applicant will be required to submit a Specific Use Permit (SUP) for the chicken coop and chickens on the subject property by the December 17, 2021 application deadline.

- (3) When the *Building # 3* is relocated to *Building #4* it shall maintain conformance with the Agricultural (AG) District requirements.
- (4) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) per staff's recommendations by a vote of 4-1, with Commissioner Womble dissenting and Commissioners Moeller and Thomas absent.



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

STAFF USE ONLY
 PLANNING & ZONING CASE NO. 22021-046
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
 DIRECTOR OF PLANNING: _____
 CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
 FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
 REPLAT (\$300.00 + \$20.00 ACRE) ¹
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00) +1000.00
 VARIANCE REQUEST (\$100.00) 1200.00
NOTES:
¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1700 EAST SH 66
 SUBDIVISION agricultural LOT BLOCK
 GENERAL LOCATION 56 ACRES EAST OF RALPH HALL MUNICIPAL AIRPORT.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Mike Peoples</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON	<u>Mike Peoples</u>	CONTACT PERSON	<u>SAME.</u>
ADDRESS	<u>1700 East SH 66 Rockwall Tx 75087</u>	ADDRESS	
CITY, STATE & ZIP		CITY, STATE & ZIP	
PHONE	<u>214-957-0807</u>	PHONE	
E-MAIL		E-MAIL	

NOTARY VERIFICATION [REQUIRED]

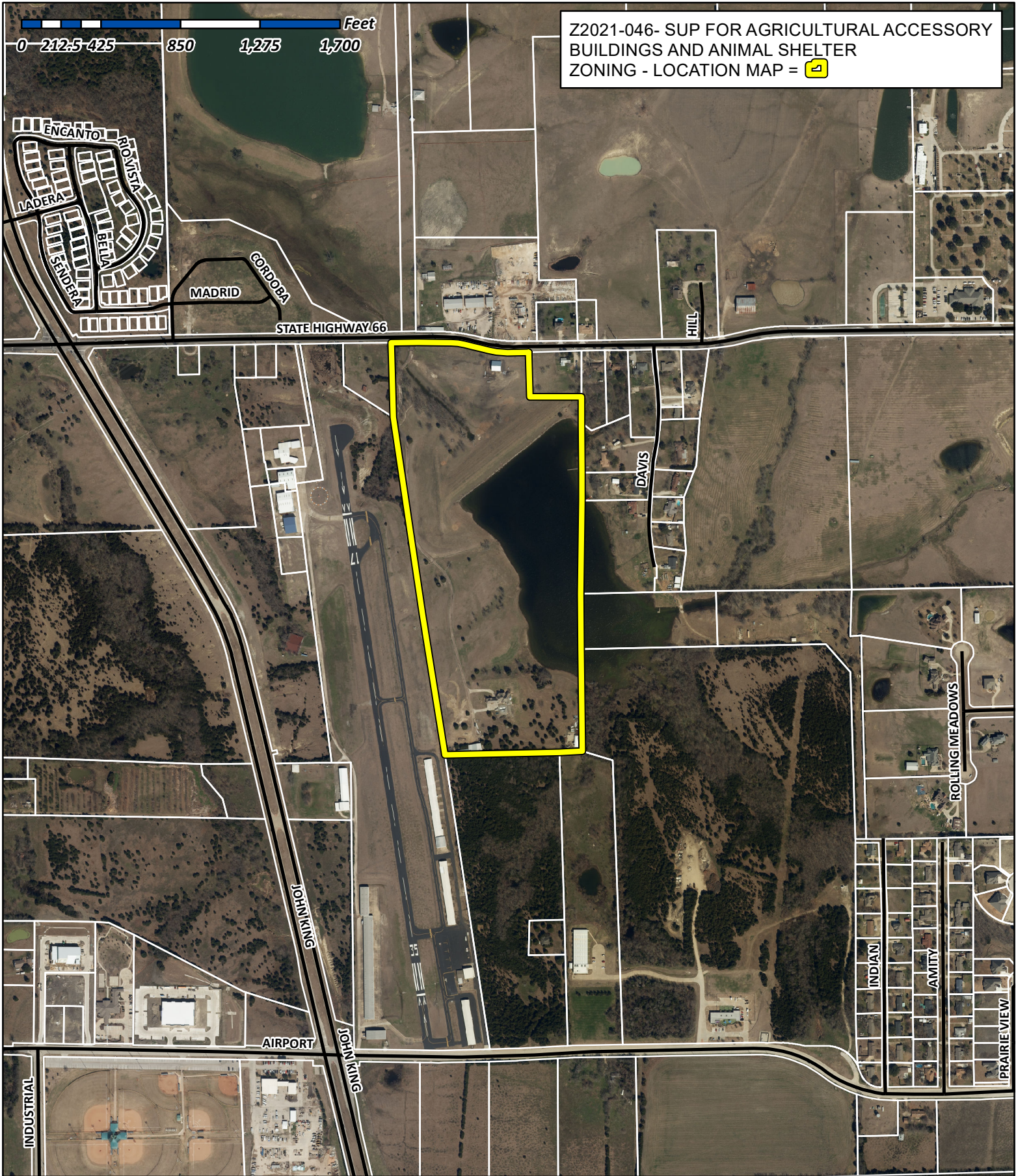
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:


"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____ MY COMMISSION EXPIRES _____



Z2021-046- SUP FOR AGRICULTURAL ACCESSORY BUILDINGS AND ANIMAL SHELTER ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

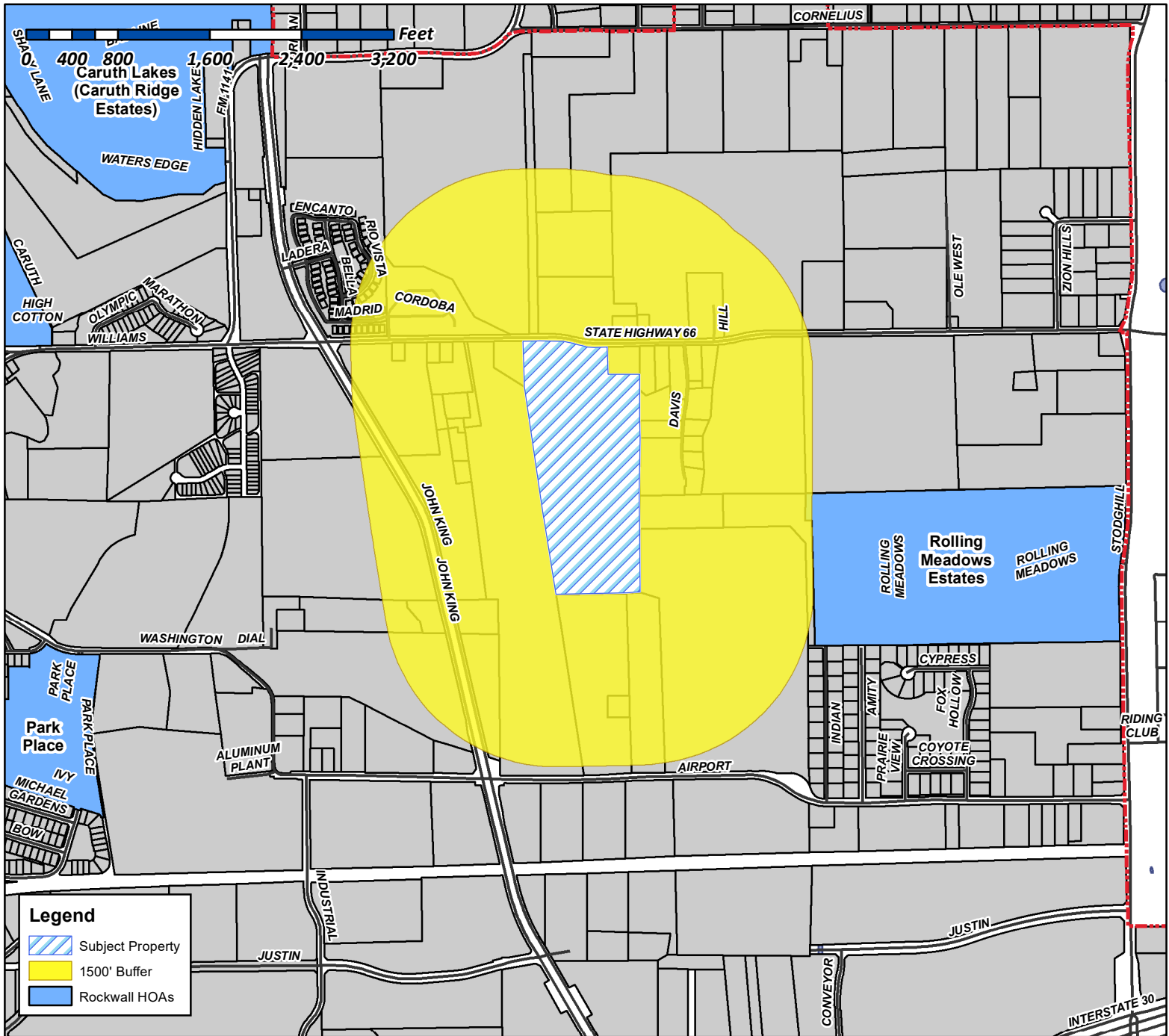
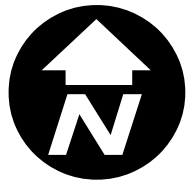




City of Rockwall

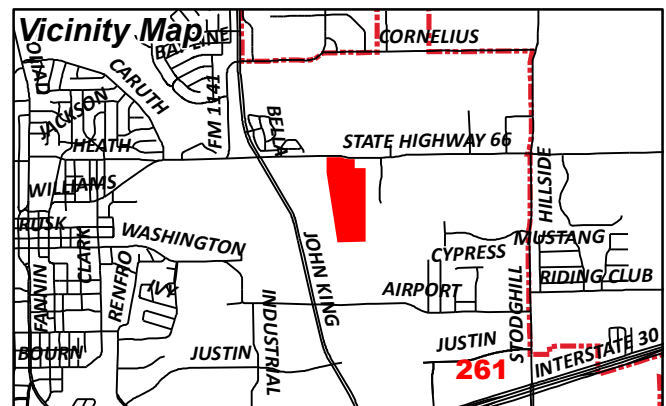
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2021-046
Case Name: SUP for Agricultural Accessory Buildings and Animal Shelter
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1700 E SH 66

Date Created: 10/18/2021
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Friday, October 22, 2021 9:31 AM
Cc: Miller, Ryan; Reyna, Andrew; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-046]
Attachments: Public Notice (10.20.2021).pdf; HOA Map (10.18.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on October 29, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-046: SUP for two (2) Agricultural Accessory Buildings and Animal Shelter/Loafing Shed

Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a *Specific Use Permit (SUP)* for two (2) *Agricultural Accessory Buildings* and an *Animal Shelter/Loafing Shed* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
1700 STATE HIGHWAY 66
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
1770 E HWY 66
ROCKWALL, TX 75087

COLLIER JUDY KAY AND
THERESA ROBBINS
1780 WILLIAMS ST
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
1790 WILLIAMS ST
ROCKWALL, TX 75087

RYAN BILL K
1800 WILLIAMS ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
1815 AIRPORT RD
ROCKWALL, TX 75087

PEOPLES MIKE L
1936 HWY 66
ROCKWALL, TX 75087

PEOPLES MICHAEL L
2026 HWY 66
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

SALINAS HILSE S
2068 STATE HWY 66
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND
SHERYL NEWMAN PEOPLES
2075 WILLIAMS
ROCKWALL, TX 75087

GILLILAND TOMMY JOE
2098 WILLIAMS
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP
ATTN: BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

RYAN BILL K
330 VZ CR 2207
CANTON, TX 75103

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
636 GRISHAM DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
710 DAVIS DR
ROCKWALL, TX 75087

MOCK ALYSSA
720 DAVIS DR
ROCKWALL, TX 75087

MA MICHAEL D AND CAROLINE J G MOORE
725 DAVIS DR
ROCKWALL, TX 75087

DAILEY MARK L
730 DAVIS DR
ROCKWALL, TX 75087

BANUELOS SHERRI L
735 DAVIS DR
ROCKWALL, TX 75087

RINKEVICH FAMILY LIVING TRUST
JOSEPH W RINKEVICH- TRUSTEE
740 DAVIS DR
ROCKWALL, TX 75087

RAINES SHERYL
745 DAVIS DR
ROCKWALL, TX 75087

COOK SHERRY LYNN
760 DAVIS DRIVE
ROCKWALL, TX 75087

DIMISSEW SAMUEL
956 S WEATHERED DR
RICHARDSON, TX 75080

ATHEY JACK R
P.O. BOX 219
LAVON, TX 75166

PEOPLES MIKE L
PO BOX 41
ROCKWALL, TX 75087

RAINES SHERYL
PO BOX 412
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-046: SUP for Two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific Use Permit (SUP) for two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-046: SUP for Two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-046: SUP for Two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Cain Family Partnership, Ltd.
Address: 305 Stonebridge Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: Donya Sellers [REDACTED]
Sent: Wednesday, October 27, 2021 2:51 PM
To: Planning
Subject: Case No. Z2021-046 SUP for Two Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

My name is Donya Sellers, property owner at 700 Davis Drive, Rockwall TX. 972-689-3356

I am in favor of the request to allow the Two Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed on Case No. Z2021-046 SUP.

These structures have not, and continue to not cause any issues. I very much enjoy observing the livestock on Mike's property, and wish for himself and his family to continue to be able to have full use of the property for it's original agricultural purpose. The buildings and shelter/loafing shed demonstrate that Mike wishes to provide the utmost care to the animals. His children's participation in 4H is an asset to everyone's future. It is a refreshing reflection of the history of Rockwall.

Thank you.

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INTEGRITY GROUP
Developing & Building Dreams

October 28, 2021

Mayor & City Council, and
Planning & Zoning Commission
City of Rockwall
368 S. Goliad Street
Rockwall, TX 75087

RE; Case No. Z2021-046: SUP for Two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

Honorable Mayor, Councilmembers & Members of P&Z Commission,

As the developers and builders of Ladera Rockwall Active Adult Community, 905 Bella Drive, we are in full support of the Proposed Agricultural Accessory Buildings and Animal Shelter/Loafing Shed.

Thank you for your consideration and we ask you to support and approve the case before you.

Respectfully Submitted,

John Delin

Case No. Z2021-046: SUP for Two (2) Agricultural Accessory Buildings and an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: Michael Ma + CAROLINE MOORE

Address: 725 Davis Dr, Rockwall, TX, 78087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

E STATE HIGHWAY 66

HILL LN

1

EXIST.
40'X68' BLDG

Prop #11018
MICHAEL PEOPLES JR AND
SHERYL NEWMAN PEOPLES

DAVIS DR

2

EXIST.
20'X60' BLDG
40'X60' BLDG

3

EXIST.
30'X60' BLDG

ROCKWALL
MUNICIPAL
AIRPORT

REGIONAL FIREARMS
TRAINING CENTER

4

SETBACKS
SIDE 6'
REAR 10'

271

N JOHN KING BLVD

S JOHN KING BLVD



Miller, Ryan

From: mike peoples <[REDACTED]>
Sent: Friday, October 15, 2021 10:33 AM
To: Miller, Ryan
Subject: Fwd: Building permits - 1700 E. State Hwy. 66

Sent from my iPhone

Begin forwarded message:

From: "Peoples, Sheryl" <[REDACTED]>
Date: October 15, 2021 at 10:10:07 AM CDT
To: mike peoples <[REDACTED]>
Subject: Building permits - 1700 E. State Hwy. 66

To whom it may concern:

This letter is in regards to the unpermitted buildings I have constructed over the past few years on my 56 acre property located at 1700 E. State Highway 66 located next to the airport.

Building #1 is next to my residence and is used for maintenance equipment storage, feed storage/deliveries and misc. equipment used for my agricultural operations.

Building #2 on the topo map is used for farm equipment/hay storage. This building is to be re-permitted and moved to a different location on the 56 acre property which is marked on the topo map.

Building #3 is a livestock barn for our 4-H show cattle. My 13 yr. old son & 11 yr. old daughter have been active members of the Rockwall 4-H Beef Club for 6 years and this barn is for their 4-H projects. This barn was constructed over an existing barn that was over 60 yrs old and in disrepair.

I am trying to resolve this permitting process peacefully and appreciate your willingness to work with me and my family.

Sincerely,
Mike Peoples
214-957-0807



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274



275



276



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Google Earth

Imagery date: 11/15/...

100 m

Camera: 878 m 32°55'44"N 96°26'...





CITY OF ROCKWALL
ORDINANCE NO. 19-
SPECIFIC USE PERMIT NO. S-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT, ON A 7.489-ACRE PARCEL OF LAND BEING IDENTIFIED AS LOT 23, RAINBO ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE

The motion passed by a vote of 6 in favor with 1 abstention (Fowler).

- 7. Z2018-053 -** Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of an ordinance for a Specific Use Permit (SUP) for a detached garage that does not meet the requirements stipulated by the Unified Development Code (UDC) on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary (1st Reading).

The applicant, Mike Peoples is requesting the approval of a Specific Use Permit (SUP) to allow for a detached garage that does not meet the requirements stipulated by Article VI, Permissible Uses, of the Unified Development Code (UDC). The ~2,500 SF [i.e. 50-ft x 50-ft] structure stands approximately 16-feet in height and is situated southwest of the primary structure, adjacent to the City of Rockwall Municipal Airport. The detached garage was built without a permit in 2013, and has increase in size by two (2) times structures according to aerial images (see Exhibit 'B' of the draft ordinance). These additions appear to have taken place in the years 2015 & 2017. This has created one (1) large structure, of which the exact measurements are not known. With this being said, there are a total of three (3) structures that have been built concurrently with this request [i.e. Z2018-049]. The other structure lies within the designated 100-year flood plain. This structure is required to be demolished and has been added as a condition of approval of the SUP for the third structure (i.e. the detached garage).

Although Section 2, of Article V, Agricultural (AG) District of the Unified Development Code (UDC), allows for an accessory use (i.e. detached garage) to be a permitted with a main use (i.e. single-family home) on more than ten (10)-acres within an Agricultural (AG) District, Section 2.1.2, of Article IV, Permissible Uses, of the UDC, allows for one (1) detached garage that does not exceed 900 SF in area or 15 feet in height provided the exterior cladding contains the same materials as is found on the main structure. In this case, the detached garage appears to be a metal structure (see attached photos). Accessory buildings (i.e. detached garage) not meeting these standards shall require approval of an SUP. The existing detached garage does not meet the material or size requirements as stipulated by the UDC. Approval of a SUP is discretionary for the City Council. On November 30, 2018 staff mailed 33 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Rolling Meadows Homeowner's Association (HOA), which is the only HOA's/Neighborhood Organization that is within 1,500-feet of the subject property

participating in the Neighborhood Notification Program. Staff has received three noticed back in favor and one in opposition of the request.

Mayor Pruitt called the applicant forth and then opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the public hearing.

Following additional dialogue, Mayor Pro Tem Fowler moved to approve Z2018-053. Councilmember Daniels seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. _____
SPECIFIC USE PERMIT NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A DETACHED GARAGE THAT DOES NOT MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC), ON A 4 2.66-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT, IDENTIFIED AS TRACT 7 OF THE D. HARR SURVEY, ABRSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion (to approve) failed by a vote of 2 in favor (Macalik and Fowler) with 5 against (Trowbridge, Hohenshelt, Pruitt, Daniels and Johannesen).

Mayor Pruitt called for a break and recessed the meeting at 7:41 p.m.

8. **Z2018-054** - Hold a public hearing to discuss and consider a request by Andrew Bennett of BOKA Powell, LLC on behalf of the owner Vinod Miranda for the approval of an ordinance for a Specific Use Permit (SUP) for an office building that will exceed 36-feet in height within the Scenic Overlay (SOV) District on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary (1st Reading).

Planning Director Ryan Miller explained that the subject property is located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard and is zoned Commercial (C) District. The proposed 80,000 SF office building will be comprised of three (3) stories of office space and a single-story of parking that will be located below grade. The office building will reach an overall height of 60-feet; however, the building will be located approximately 156-feet from the right-of-way of Ridge Road and due to the slope of the property the finished floor of the building will be set approximately five (5) to seven (7) feet below the surface of Ridge Road. This means that the first floor of the office building may not be visible from Ridge Road. According to the Special Use Standards located in Section 6.8, Scenic Overlay (SOV) District, of Article V, of the Unified Development Code (UDC), any

133 coming before the Council this evening to see if there is a way to work something out such
134 that he would be allowed to build this large accessory building on his agriculturally zoned
135 property.
136

137 Planning Director Ryan Miller provided clarifying comments to the Council concerning this
138 matter. He generally explained that currently, there is no SUP process by which a property
139 owner may request to approve a 'barn' type accessory structure on "agriculturally zoned"
140 land, and there is also not a means by which an owner may build 'private guest quarters.' It
141 was generally explained that the "agriculture" zoning designation is assigned to newly
142 annexed land "by default" (essentially), and it is the most restrictive zoning designation
143 within the city's regulations. It exists this way as a means by which annexed land will be
144 eventually pushed into a different zoning land designation; however, it unfortunately has an
145 (unintended) adverse effect on (larger parcels of) land that truly are more 'agricultural' in
146 nature. One change that would need to occur is for SUPs to be able to be requested, on a
147 case-by-case basis, for "guest quarters" which are proposed to be built on 'agriculturally
148 zoned' land. Right now, no SUP process exists to potentially allow those types of
149 structures.
150

151 Mr. Cain clarified that "guest quarters" is a little more elaborate than what he is wanting to
152 build. He essentially wants to build a (large) "man cave" to have folks over and watch
153 sports games and store some of his car collection.
154

155 Following extensive discussion, the Council generally expressed a desire for staff to bring
156 back some options for the council to consider relative to making some changes to the UDC
157 to allow requests (by SUP) for accessory buildings (both ones to be utilized as 'barns' and
158 ones to be utilized for 'private guest quarters'), on a case-by-case basis, on agriculturally
159 zoned land.
160

161 Council took no formal action related to this agenda item at this time.
162

163 X. PUBLIC HEARING ITEMS

164 1. Z2018-049 - Hold a public hearing to discuss and consider a request by Mike Peoples for the
165 approval of an ordinance for a Specific Use Permit (SUP) for an animal shelter on a 42.66-acre
166 tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall,
167 Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay
168 (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary (1st Reading).
169

170 Planning Director, Ryan Miller, provided background information pertaining to this agenda
171 item, indicating that back on December 17, 2018, the City Council continued the public
172 hearing for Case No. Z2018-049 by a vote of 7 to 0. This case involved a request for a
173 Specific Use Permit (SUP) that would allow for an animal shelter on the property. The
174 purpose of the City Council's motion was to allow the applicant, Mike Peoples,
175 additional time to prepare a schedule that outlined [1] the completion time for the animal
176 shelter (which is currently partially constructed), and [2] the time needed to demolish
177 the structure situated within the floodplain (which was constructed without a building
178 permit). In response to the City Council's action, Mr. Peoples provided staff with a letter
179 indicating that, weather permitting, he intends to complete the construction of the
180 animal shelter by April 2019; however, Mr. Peoples has not indicated a timeframe for
181 the demolition of the structure within the floodplain (see Exhibit 'B'). It should also be
182 noted that staff requested that Mr. Peoples provide a timeframe for the demolition of the
183 detached garage that was denied by the City Council on December 17, 2018; however, the
184 letter submitted by Mr. Peoples indicates that he does not have a timeframe for the
185 removal of this building either. Due to the applicant's inability to provide staff with a

186 reasonable timeframe for the demolition of the two (2) unpermitted structures, staff has
187 amended the draft ordinance for the animal shelter to require that both structures be
188 removed from the property within six (6) months of the adoption date of the proposed
189 Specific Use Permit (SUP) ordinance.

190
191 Councilmember Hohenshelt and Mayor Pruitt both indicated that their preference is to
192 require that Mr. Peoples demolish the existing structure (in the floodplain) prior to finishing
193 the newest structure he wanting to complete.

194
195 Mr. Miller shared that Mr. Peoples has continued to work on the existing (unpermitted,
196 unauthorized "animal shelter") structure during the time he has been going through the
197 process associated with seeking formal approval of it being built. It was pointed out that
198 when Mr. Peoples spoke to staff about the (currently under construction) structure needing
199 an SUP and building permit, Mr. Peoples gave indication that he still planned to continue
200 working on the structure. Staff explained to Mr. Peoples that if he continued working on the
201 structure before it (potentially) received Council's approval, he would be doing so at his
202 own risk. Mr. Peoples subsequently submitted a letter to staff, generally expressing that he
203 understood that. General discussion took place pertaining to the existing structure (that
204 Mr. Peoples has continued to work on) and how stopping its construction and having it torn
205 down will be an enforcement-related issue, should it come to that in the future. Indication
206 was given that, related to 'enforcement,' any daily or other fines would be up to the judge.

207
208 Following extensive discussion and clarifications, Councilmember Hohenshelt moved to
209 call for all of the improper structures to be removed before this particular SUP may be
210 granted and that Mr. Peoples must do so within six (6) months. The motion was clarified –
211 that Mr. Peoples should not perform further work on this current structure and that the
212 other, existing (improper) structures must be removed within six (6) months.
213 Councilmember Trowbridge seconded the motion.

214
215 Pruitt reopened the public hearing (that was continued from the last council meeting) and
216 asked if anyone would like to come forth and speak at this time. There being no one
217 indicating such, he then called for the vote.

218
219 The above noted motion then passed by a vote of 7 ayes to 0 nays. The ordinance (caption)
220 was read into the record as follows:

221 CITY OF ROCKWALL
222 ORDINANCE NO. 19-____
223 SPECIFIC USE PERMIT NO. S-____

224
225 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
226 AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE
227 CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A
228 SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN ANIMAL SHELTER ON A 42.66-
229 ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT, IDENTIFIED AS
230 TRACT 7 OF THE D. HARR SURVEY, ABSRACT NO. 102, CITY OF
231 ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS;
232 PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO
233 THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A
234 SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR
235 AN EFFECTIVE DATE.

236
237 XI. ACTION ITEMS

- 238 1. Z2018-052 - Discuss and consider a request by Russell Phillips on behalf of Rockwall Retail
239 Investors, LLC for the approval of an ordinance for a Specific Use Permit (SUP) for a mini-
240 warehouse facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition,
241 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated

36 Mayor Pro Tem Fowler authorized the city attorney to file intervention in the new rate case regarding
37 the appeal to the Public Utility Commission. Councilmember Macalik seconded the motion, which
38 passed by a vote of 6 ayes with 1 absence (Trowbridge).

39
40 Mayor Pro Tem Fowler made a motion to move Stuart Smith up from an “alternate” to a voting
41 member to fill the vacancy on the city’s Board of Adjustments (thru Aug. 2019). Mayor Pruitt
42 seconded the motion, which passed by a vote of 6 ayes with 1 absence (Trowbridge).

43
44 Mayor Pro Tem Fowler moved to appoint Glenn Carr to fill the “second alternate position” on the
45 city’s Board of Adjustments (thru Aug. 2020). Mayor Pruitt seconded the motion, which passed by a
46 vote of 6 ayes with 1 absence (Trowbridge).

47

48 **VI. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER DANIELS**

49 Councilmember Daniels delivered the invocation and led the Pledge of Allegiance.

50 **VII. PROCLAMATIONS**

51 1. Health for Humanity Yogathon

52 Mayor Pruitt invited city resident Ashwini Gurwale and her husband to come forth at this time. He
53 then read and presented this proclamation. Mrs. Gurwale then gave a brief yoga demonstration.

54 **VIII. OPEN FORUM**

55 Mayor Pruitt explained how Open Forum is conducted and asked if anyone would like to come forth
56 and speak at this time. There being no one indicating such, he then closed Open Forum.

57

58 **IX. CONSENT AGENDA**

59 1. Consider approval of the minutes from the January 7, 2019 regular city council meeting, and
60 take any action necessary.

61 2. **Z2018-049** - Consider a request by Mike Peoples for the approval of an ordinance for a
62 Specific Use Permit (SUP) for an animal shelter on a 42.66-acre tract of land identified as
63 Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas,
64 zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV)
65 District, addressed as 1700 E. SH-66, and take any action necessary (2nd Reading).

66 3. **A2018-004** - Consider a request by Pat Atkins on behalf of the owner C.D.T. Rockwall/2017
67 LLC for the approval of an ordinance for the voluntary annexation of a 14.995-acre tract of
68 land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, Rockwall County,
69 Texas, and take any action necessary (2nd reading).

70 4. **P2018-047** - Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John
71 Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII
72 containing 35 single-family residential lots on 44.525-acres of land identified as a portion of

73 Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County,
74 Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District
75 land uses, located west of the intersection of John King Boulevard and Cozy View Drive, and
76 take any action necessary.

- 77 5. Consider approval of the Contract Amendment #1 with Brinkley & Barfield, Inc., in the
78 amount of \$87,030 to be funded from the 2018 Street Bond funds and water/wastewater
79 funds, and take any action necessary.
- 80 6. Consider authorizing the City Manager to negotiate and execute a contract with Baseball
81 Nation LLC regarding the city's baseball umpire services for an amount not to exceed
82 \$120,000 to be funded from baseball registration proceeds in the Recreation Development
83 Fund, and take any action necessary.
- 84 7. Consider authorizing the City Manager and the Chief of Police to execute an Interlocal
85 Agreement (ILA) with NCT911 to provide 911 services in the City, and take any action
86 necessary.

87 **Councilmember Hohenshelt moved to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6 and 7).**
88 **Councilmember Johannesen seconded the motion. The ordinances were read as follows:**

89 **CITY OF ROCKWALL**
90 **ORDINANCE NO. 19-08**
91 **SPECIFIC USE PERMIT NO. S-204**
92

93 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
94 **AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY**
95 **OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE**
96 **PERMIT (SUP) TO ALLOW FOR AN ANIMAL SHELTER ON A 42.66-ACRE TRACT OF**
97 **LAND ZONED AGRICULTURAL (AG) DISTRICT, IDENTIFIED AS TRACT 7 OF THE D.**
98 **HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY,**
99 **TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE**
100 **NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH**
101 **OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER**
102 **CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

103 **CITY OF ROCKWALL**
104 **ORDINANCE NO. 19-07**
105

106 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, PROVIDING**
107 **FOR THE EXTENSION OF CERTAIN BOUNDARY LIMITS OF THE CITY OF ROCKWALL, TEXAS**
108 **AND THE ANNEXATION OF A 14.995-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-03**
109 **OF THE P. B. HARRISON SURVEY, ABSTRACT NO. 97, ROCKWALL COUNTY, TEXAS,**
110 **WHICH SAID TERRITORY LIES ADJACENT TO AND ADJOINS THE PRESENT BOUNDARY**
111 **LIMITS OF THE CITY OF ROCKWALL, TEXAS; PROVIDING FOR AN EFFECTIVE DATE.**

112 **The motion passed by a vote of 6 ayes with 1 absence (Trowbridge).**

CITY OF ROCKWALL

ORDINANCE NO. 19-06

SPECIFIC USE PERMIT NO. S-204

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN ANIMAL SHELTER ON A 42.66-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT, IDENTIFIED AS TRACT 7 OF THE D. HARR SURVEY, ABSRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Mike Peoples for the approval of a Specific Use Permit (SUP) for the purpose of allowing a previously constructed animal shelter, situated on a 42.66-acre tract of land, zoned Agricultural (AG) District, and being identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, addressed 1700 E. SH-66, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the construction of an animal shelter structure within an Agricultural (AG) District as stipulated by Article IV, *Permissible Uses*, and Article V, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 04-38] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Section 2.1, *Agricultural (AG) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as my be amended in the future, and shall be subject to the following operational conditions and compliance standards:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an animal shelter, structure on the Subject Property and conformance to these requirements is necessary for continued operations:

- 1) The animal shelter structure shall generally conform to the elevations and site plan depicted in *Exhibits 'B' & 'C'* of this ordinance;
- 2) The animal shelter structure shall not exceed its current size of approximately 2,720 SF or an approximate height of 15-feet;
- 3) The existing accessory building located within the flood plain of this property, as depicted as #4 in *Exhibit 'D'* of this ordinance, shall be removed/demolished within six (6) months of the date of passage of this ordinance;
- 4) The existing detached garage located on the subject property, as depicted as #1, 2, & 3 in *Exhibit 'D'* of this ordinance, shall be removed/demolished within six (6) months of the date of passage of this ordinance;
- 5) The animal shelter structure shall not be operated as a commercial land use;
- 6) A detention system is required for the addition of structures on the subject property per the Engineering Standards of Design; and,
- 7) The animal shelter structure is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC) [*Ordinance No. 04-38*], the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

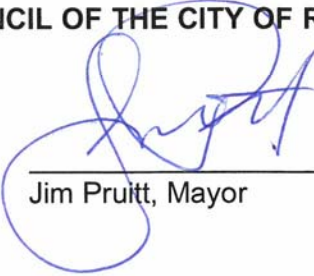
SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged

invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 22ND DAY OF JANUARY, 2019.**



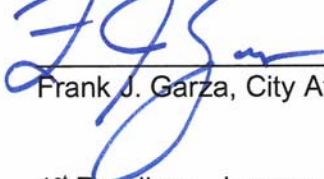
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: January 7, 2019

2nd Reading: January 22, 2019

Exhibit 'A':
Legal Description and Property Location

Legal Description: Tract 7 of the D. Harr Survey, Abstract No. 102

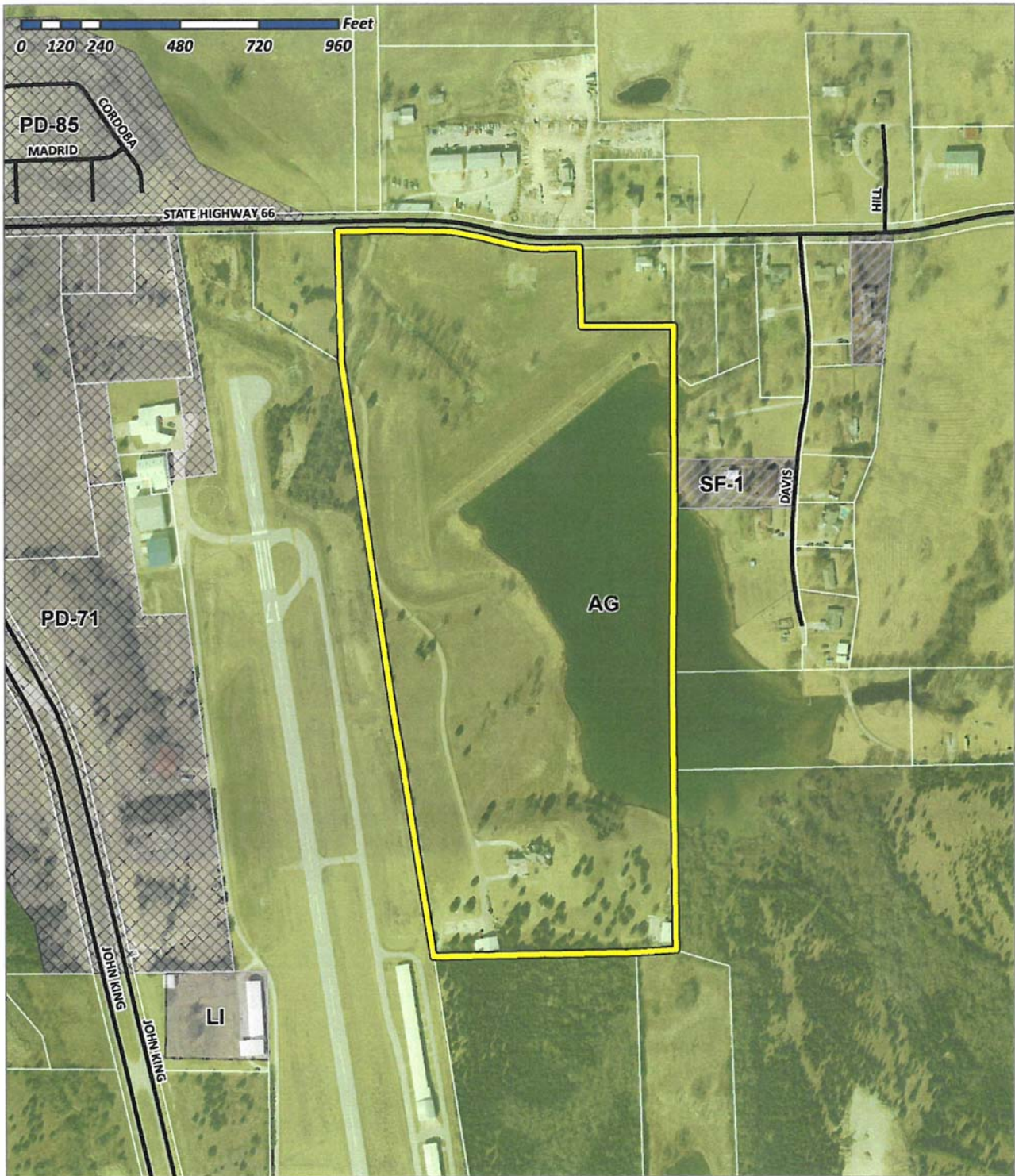
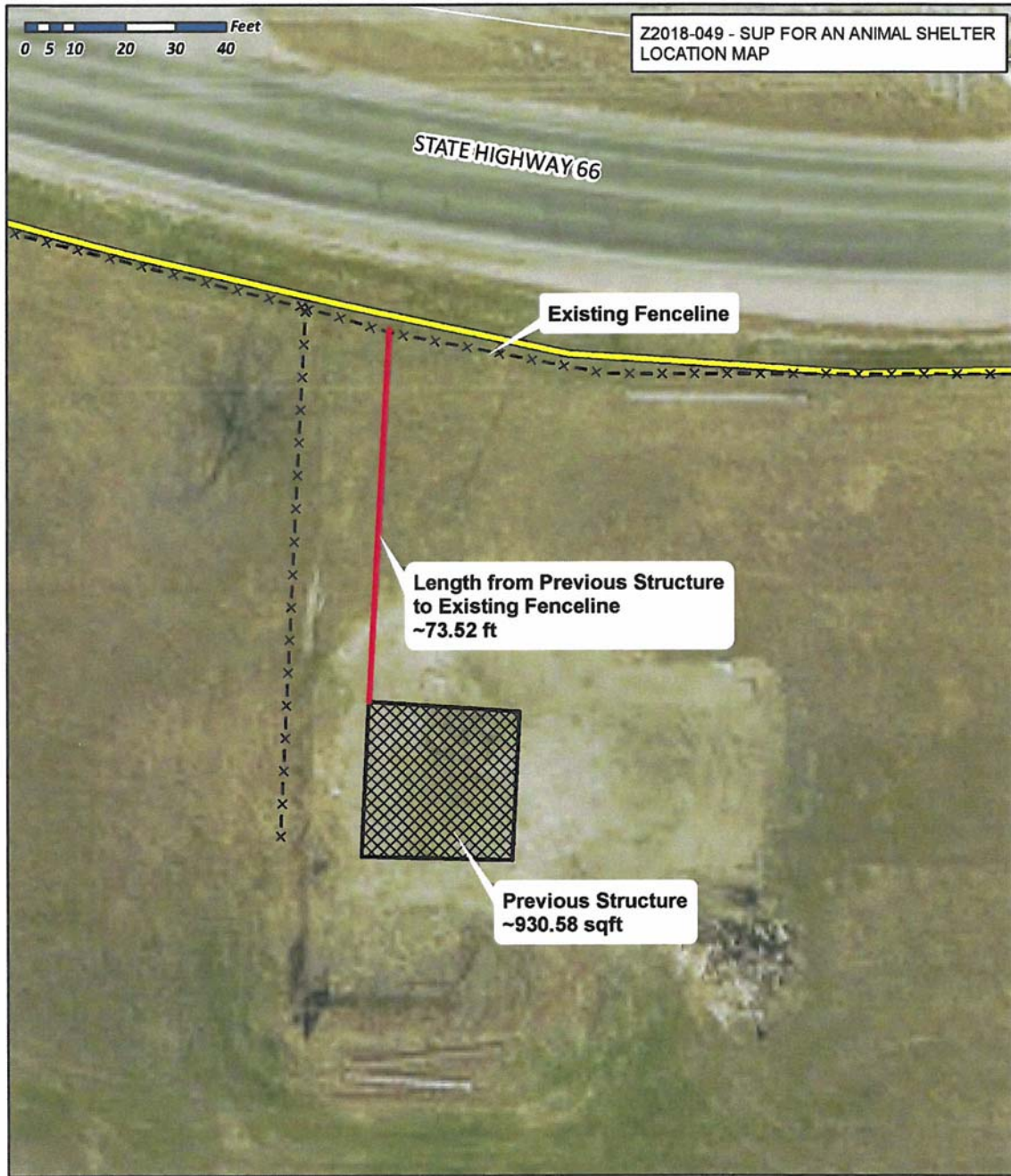


Exhibit 'B':
Animal Shelter – Elevations



Exhibit 'C':
Site Plan



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'D';
Building Locations to be Removed

1. Existing Structure attached to Detached Garage
2. Existing Structure attached to Detached Garage
3. Detached Garage
4. Existing Structure Located within Designated 100-year Flood Plain



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW TWO (2) *AGRICULTURAL ACCESSORY BUILDINGS* AND AN *ANIMAL SHELTER OR LOAFING SHED* ON A 42.66-ACRE TRACT OF LAND, IDENTIFIED AS TRACT 7 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mike Peoples for the approval of a Specific Use Permit (SUP) to allow two (2) *Agricultural Accessory Buildings* and an *Animal Shelter or Loafing Shed* on a 42.66-acre tract of land described as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1700 E. SH-66, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing two (2) *Agricultural Accessory Buildings* and an *Animal Shelter or Loafing Shed* as stipulated by Subsection 01.02, *Land Use Schedule*, and Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the

Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Agricultural Accessory Structure* and an *Animal Shelter or Loafing Shed* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The applicant is required to remove the outside storage that is currently situated around the *Agricultural Accessory Building* (i.e. *Building #3*) prior to the issuance of any permits on the *Subject Property*.
- (2) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (3) The *Agricultural Accessory Buildings* shall not exceed their current building footprints (i.e. ~3,600 SF for *Building #2* and ~1,800 SF for *Building #3*).
- (4) The *Animal Shelter or Loafing Shed* (i.e. *Building #1*) shall not exceed a maximum size of 3,000 SF.
- (5) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* (i.e. *Buildings #1, #2, & #3*) shall not exceed their current heights which are depicted in *Exhibit 'C'* of this ordinance.
- (6) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* (i.e. *Buildings #1, #2, & #3*) shall not be operated as of for commercial land uses.
- (7) The applicant will be required to apply for three (3) building permits from the Building Inspections Departments for the *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* (i.e. *Buildings #1, #2, & #3*) depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (8) The existing *Agricultural Accessory Building* located in the floodplain on the *Subject Property*, as depicted as *Building #3* in *Exhibits 'B' & 'C'* of this ordinance, shall be moved to the location depicted as *Building #4* in *Exhibit 'B'* within six (6) months of the date of passage of this ordinance and before building permits for *Building #1 & #2* -- depicted in *Exhibits 'B' & 'C'* -- are issued.
- (9) The *Agricultural Accessory Buildings* and *Animal Shelter or Loafing Shed* (i.e. *Buildings #1, #2, & #3*) shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- (10) All buildings (i.e. *Buildings #1, #2, and #3/#4*) shall be required to meet all applicable setback requirements. This means that the subject property will need to be platted prior to the issuance of a building permit for *Building #2* as depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (11) Should the applicant fail to meet any of the requirements of this Specific Use Permit (SUP) within one (1) year of the approval date of this ordinance *Buildings #1, #2* and

#3/#4 shall be removed from the *Subject Property* within six (6) months of the expiration date of this ordinance.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF DECEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

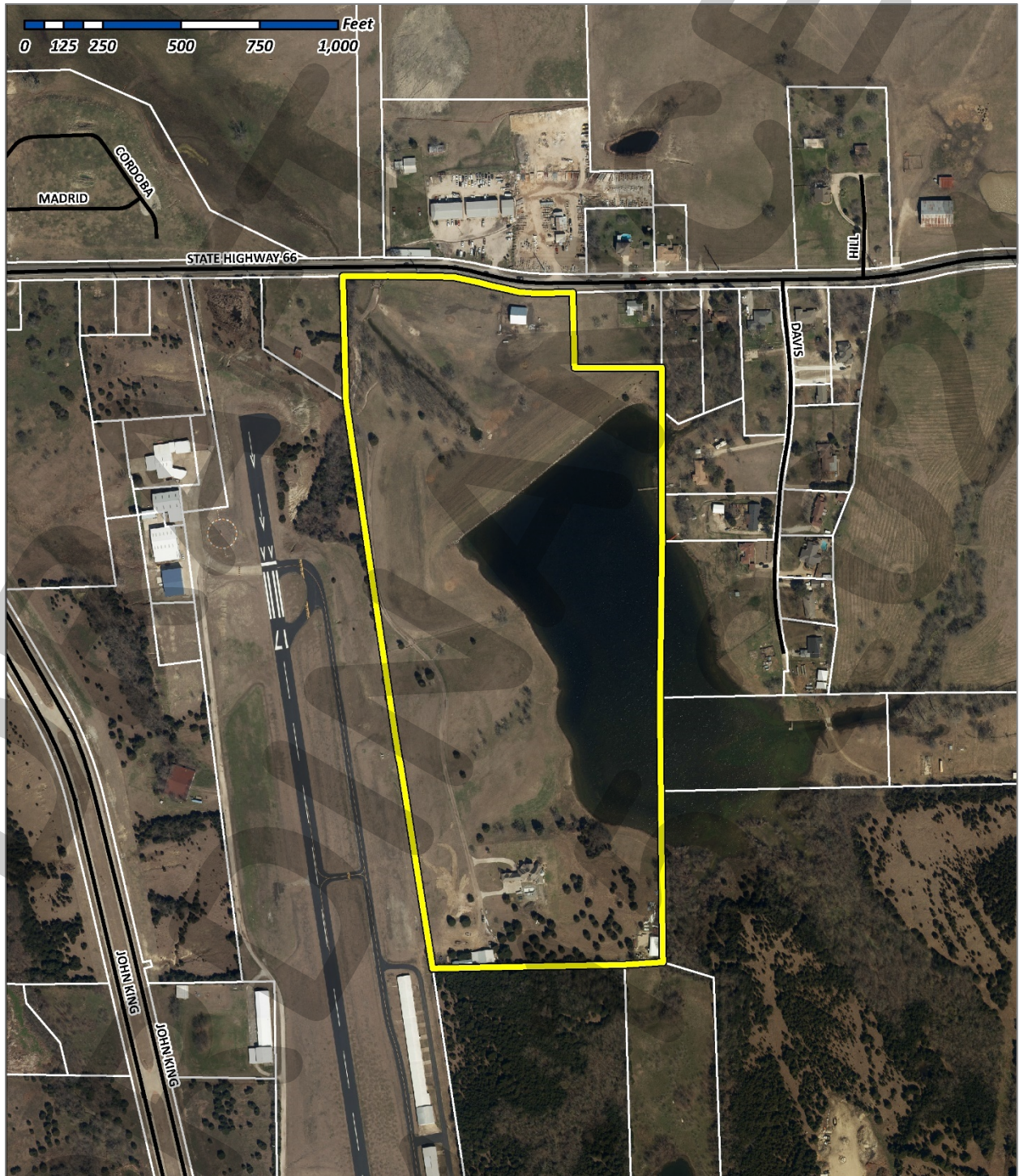
1st Reading: November 15, 2021

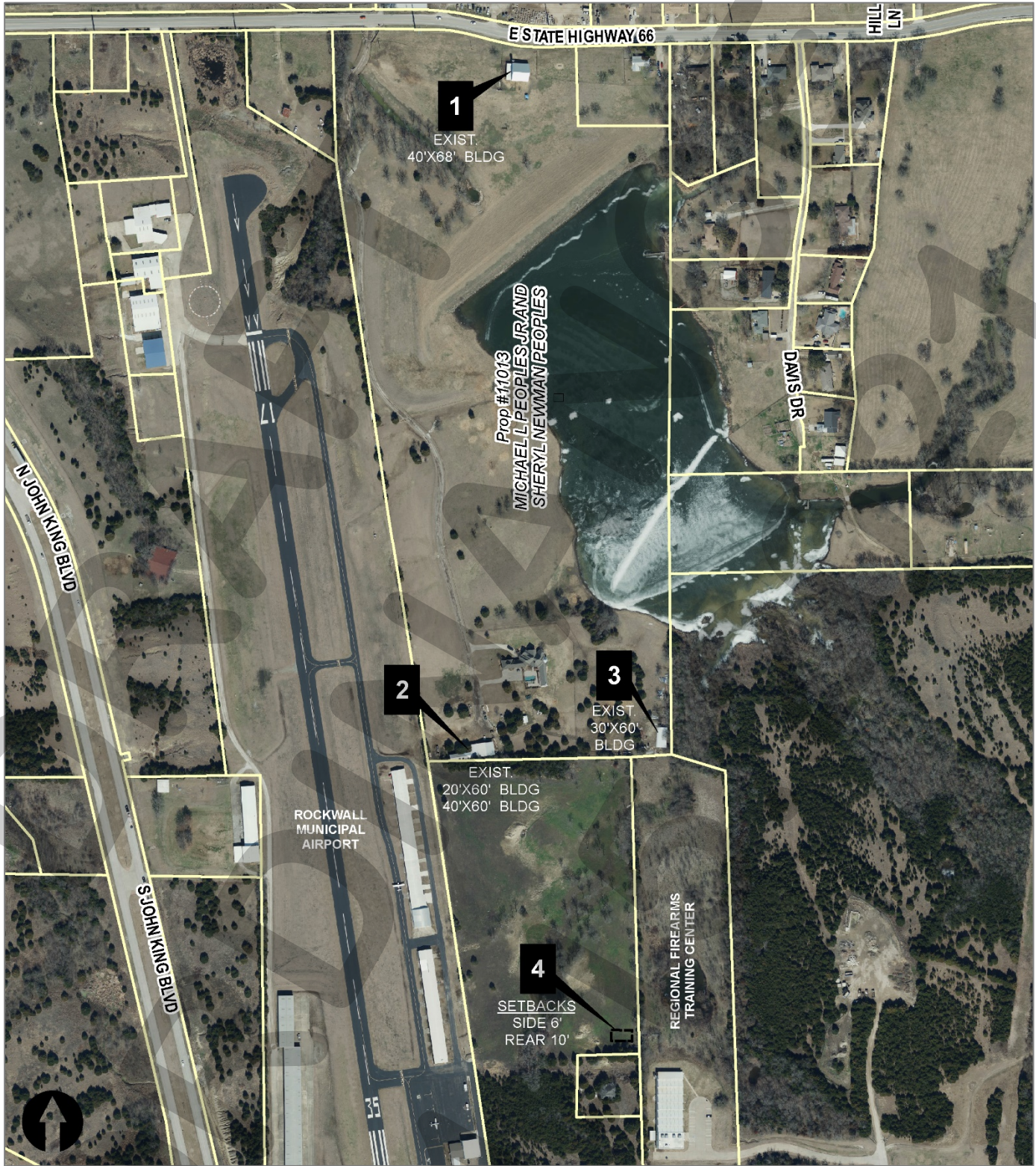
2nd Reading: December 6, 2021

DRAFT
ORDINANCE
17.15.2021

Address: 1700 E. SH-66

Legal Description: Tract 7 of the D. Harr Survey, Abstract No. 102





- BUILDING #1: ANIMAL SHELTER OR LOAFING SHED
- BUILDING #2: AGRICULTURAL ACCESSORY BUILDING
- BUILDING #3: AGRICULTURAL ACCESSORY BUILDING CURRENTLY LOCATED IN THE FLOODPLAIN
- BUILDING #4: PROPOSED NEW LOCATION FOR BUILDING #3



BUILDING #1: ANIMAL SHELTER OR LOAFING SHED



BUILDING #2: AGRICULTURAL ACCESSORY BUILDING



BUILDING #3: AGRICULTURAL ACCESSORY BUILDING SITUATED WITHIN THE 100-YEAR FLOODPLAIN



MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: November 15, 2021

SUBJECT: Z2021-047; SPECIFIC USE PERMIT (SUP) ALLOWING AN ANIMAL SHELTER/LOAFING SHED FOR 555 CORNELIUS ROAD

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Applicant's Letter
Location of Existing Agricultural Accessory Structure
Existing Agricultural Accessory Structure
Building Elevations
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Andrea Danley on behalf of Mike Peoples for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing an *Animal Shelter/Loafing Shed* on a 14.219-acre tract of land identified as Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and take any action necessary (1st Reading).

Action Needed

The City Council is being asked to approve, approve with conditions, or deny the proposed Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Andrea Danley
CASE NUMBER: Z2021-047; *Specific Use Permit for an Animal Shelter or Loafing Shed*

SUMMARY

Hold a public hearing to discuss and consider a request by Andrea Danley on behalf of Mike Peoples for the approval of a Specific Use Permit (SUP) for an *Animal Shelter/Loafing Shed* on a 14.219-acre tract of land identified as Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01 [Case No. A2009-005]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD) currently situated on the subject property are: [1] a 1,750 SF single-family home that was constructed in 1960, [2] a 360 SF barn with a 330 SF canopy constructed in 1973, [3] a 7,040 SF barn constructed in 1985, [4] a 400 SF carport constructed in 2008, [5] two (2) storage buildings (*being 256 SF and 120 SF*) constructed in 2012, and [6] a 1,600 SF barn with an unknown construction date. No other changes or improvements currently exist on the subject property. The zoning designation has not changed since it was designated as an Agricultural (AG) District in 2010.

PURPOSE

The applicant -- *Andrea Danley* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of an *Animal Shelter or Loafing Shed* in accordance with the requirements of Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 555 Cornelius Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are: [1] a ten (10) acre tract of land (*i.e. Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72*), [2] a four (4) acre tract of land (*i.e. Tract 22-07 of the W. M. Dalton Survey, Abstract No. 72*), and [3] the Maytona Ranch Estates Subdivision which consists of 19 single-family residential lots. All of these properties are zoned Agricultural (AG) District.

South: Directly south of the subject property is a 55.08-acre tract of land identified as Tract 11 of the W. M. Dalton Survey, Abstract No. 72. Beyond this is a 4.07-acre tract of land, identified as Tract 12-1 of the W. M. Dalton Survey, Abstract No. 72, with a single-family home situated on it. Both of these properties are zoned Agricultural (AG) District. South of these tracts is SH-66, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) according to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 12.231-acre tract of land identified as Tracts 9, 10, & 10-01 of the W. M. Dalton Survey, Abstract No. 72. Situated on this tract is a single-family home and several agricultural accessory buildings. Beyond this is a 10.81-acre tract of vacant land identified as Lot 2, Block A, DC Addition. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property is a 12.00-acre tract of vacant land identified as Tract 10-02 of the W. M. Dalton Survey, Abstract No. 72. Beyond this are two (2) tracts of land, both being 16.444-acres, identified as Tracts 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72. Situated on these tracts are two (2) single-family homes. These properties are zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, an applicant’s letter, and building elevations requesting to remove the existing 360 SF barn and 330 SF canopy constructed in 1973, and replace them with a 35-foot by 40-foot (or 1,400 SF) *Animal Shelter or Loafing Shed*. The proposed loafing shed will be constructed out of metal R-Panel, and will stand a maximum of 12-feet in height. The applicant is proposing to construct the structure in approximately the same place as the existing barn.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Animal Shelter or Loafing Shed* requires a Specific Use Permit (SUP) in an Agricultural (AG) District; however, there are no specific *Conditional Land Use Standards* associated with this land use. This means that the proposed structure will only be subject to the Agricultural (AG) District development standards stipulated by Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 1: Subject Property’s Current Conformance with the Agricultural (AG) District Standards* below. The subject property’s current conformance with these standards is as follows:

TABLE 1: SUBJECT PROPERTY’S CURRENT CONFORMANCE WITH THE AGRICULTURAL (AG) DISTRICT STANDARDS

DEVELOPMENT STANDARDS		AGRICULTURAL (AG) DISTRICT	SUBJECT PROPERTY CONFORMANCE
ABBREVIATION		AG	AG
DWELLING UNITS/LOTS		1.0 ¹	1.0; <i>IN CONFORMANCE</i>
DWELLING UNITS/ACRE		0.1	0.07; <i>IN CONFORMANCE</i>
MINIMUM DWELLING UNIT (SF)		1,600	1,750 SF; <i>IN CONFORMANCE</i>
MINIMUM LOT REQUIREMENTS	AREA (SF)	43,560	14.219-ACRES OR 619,379.64 SF; <i>IN CONFORMANCE</i>
	WIDTH (FEET)	100	~570.00-FEET; <i>IN CONFORMANCE</i>
	DEPTH (FEET)	200	~1,056-FEET; <i>IN CONFORMANCE</i>
MINIMUM SETBACKS	FRONT (FEET)	40	~30-FEET ² ; <i>LEGAL NON-CONFORMING</i>
	REAR (FEET)	10	X > 10-FEET; <i>IN CONFORMANCE</i>
	(SIDE (FEET)	6	0-FEET ³ ; <i>LEGAL NON-CONFORMING</i>
BETWEEN BUILDINGS (FEET)		12	~3-FEET ⁴ ; <i>IN CONFORMANCE</i>
BUILDING HEIGHT (FEET)		36	ALL STRUCTURE ARE LESS THAN 36-FEET; <i>IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE (%)		N/A	<i>IN CONFORMANCE</i>

NOTES:

- ^{1:} A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING.
- ^{2:} THE EXISTING 360 SF BARN AND 330 SF CANOPY ARE LOCATED 30-FEET FROM THE FRONT PROPERTY LINE. WITH THE REMOVAL OF THESE STRUCTURES AND THE CONSTRUCTION OF THE ANIMAL SHELTER OR LOAFING SHED, THE APPLICANT WILL BE BRINGING THIS INTO CONFORMANCE WITH THE CURRENT REQUIREMENTS.
- ^{3:} THE 256 SF ACCESSORY BUILDING CONSTRUCTED IN 2012 APPEARS TO BE CONSTRUCTED ON THE PROPERTY LINE OF THE SUBJECT PROPERTY; HOWEVER, STAFF SHOULD NOTE THAT THE OWNER OF THE SUBJECT PROPERTY OWNS THE ADJACENT TRACT AND THAT THIS IS CONSIDERED TO BE A LEGALLY NON-CONFORMING STRUCTURE.
- ^{4:} THE EXISTING 400 SF CARPORT CONSTRUCTED IN 2008 APPEARS TO BE APPROXIMATELY THREE (3) FEET FROM THE PRIMARY STRUCTURE; HOWEVER, SINCE THIS CONDITION EXISTED PRIOR TO THE ANNEXATION OF THE PROPERTY IT IS CONSIDERED TO BE LEGALLY NON-CONFORMING.

Based on the building elevations and materials submitted by the applicant the proposed structure appears to be in conformance with all the applicable standards; however, the existing barn is constructed an estimated 30-feet from the front property line. This front yard setback will need to be increased to 40-feet for the proposed *Animal Shelter or Loafing Shed*.

STAFF ANALYSIS

In looking at the surrounding area, staff should point out that many of the tracts of land adjacent to the subject property are still being actively used for agricultural or rural land uses, and that there are structures similar to what the applicant is proposing already adjacent to Cornelius Road. In addition, many of the existing structures appear to be much larger than what the applicant is proposing. Staff should also note that the current barn and canopy are in a state of disrepair and are in need of being razed. Based on this, the applicant's request does not appear to create a negative impact on the adjacent properties and would be an improvement to the existing building. With all of this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 22, 2021, staff mailed 26 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff should note that there were no Homeowner's Associations or Neighborhood Organizations within 1,500-feet participating within the Neighborhood Notification Program. At the time this report was drafted, staff had received three (3) notices within the 500-foot notification buffer in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an *Animal Shelter or Loafing Shed*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The *Animal Shelter or Loafing Shed* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
 - (b) The applicant shall pull a demolition permit through the Building Inspection Department prior to removing the existing *Barn or Agricultural Accessory Structure*.
 - (c) The *Animal Shelter or Loafing Shed* shall not exceed a maximum size of 1,400 SF.
 - (d) The *Animal Shelter or Loafing Shed* shall not exceed a maximum height of 15-feet.
 - (e) The *Animal Shelter or Loafing Shed* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- (2) The proposed *Animal Shelter or Loafing Shed* shall be setback a minimum of 40-feet off of the front property line in conformance with the development standards of the Agricultural (AG) District.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) per staff's recommendations by a vote of 5-0, with Commissioners Moeller and Thomas absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Cornelius Rd Rockwall, TX 75087

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Mike Peoples
Mike Peoples
PO Box 41

APPLICANT

Andrea Danley
Andrea Danley
PO Box 154

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087
214-957-6595

CITY, STATE & ZIP

Fate TX 75132
972-988-0245

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

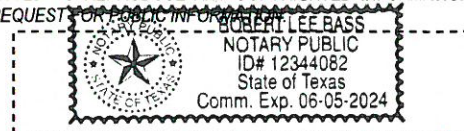
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF OCT, 2021

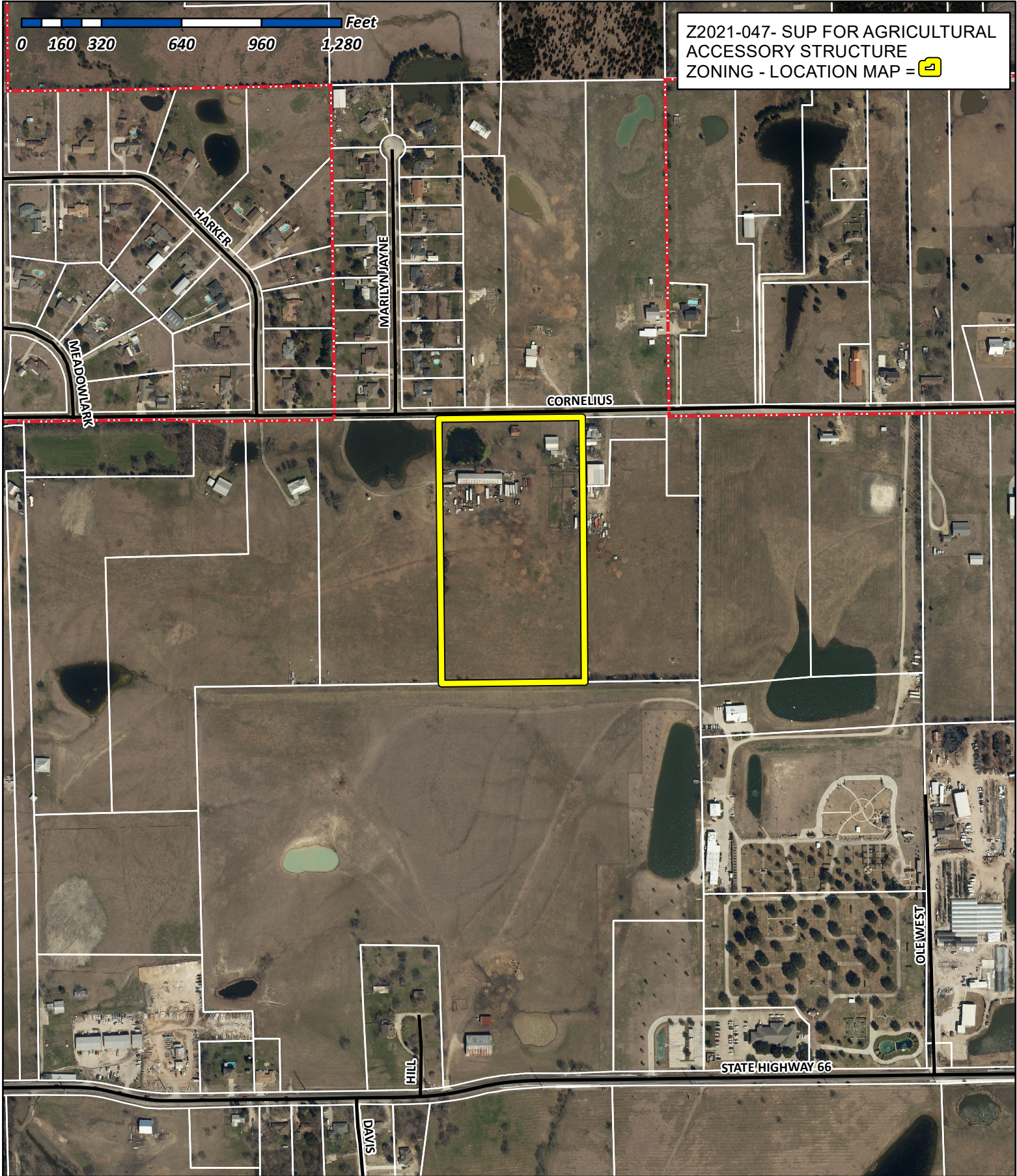
OWNER'S SIGNATURE

Mike Peoples
Fate TX

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 06-05-2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

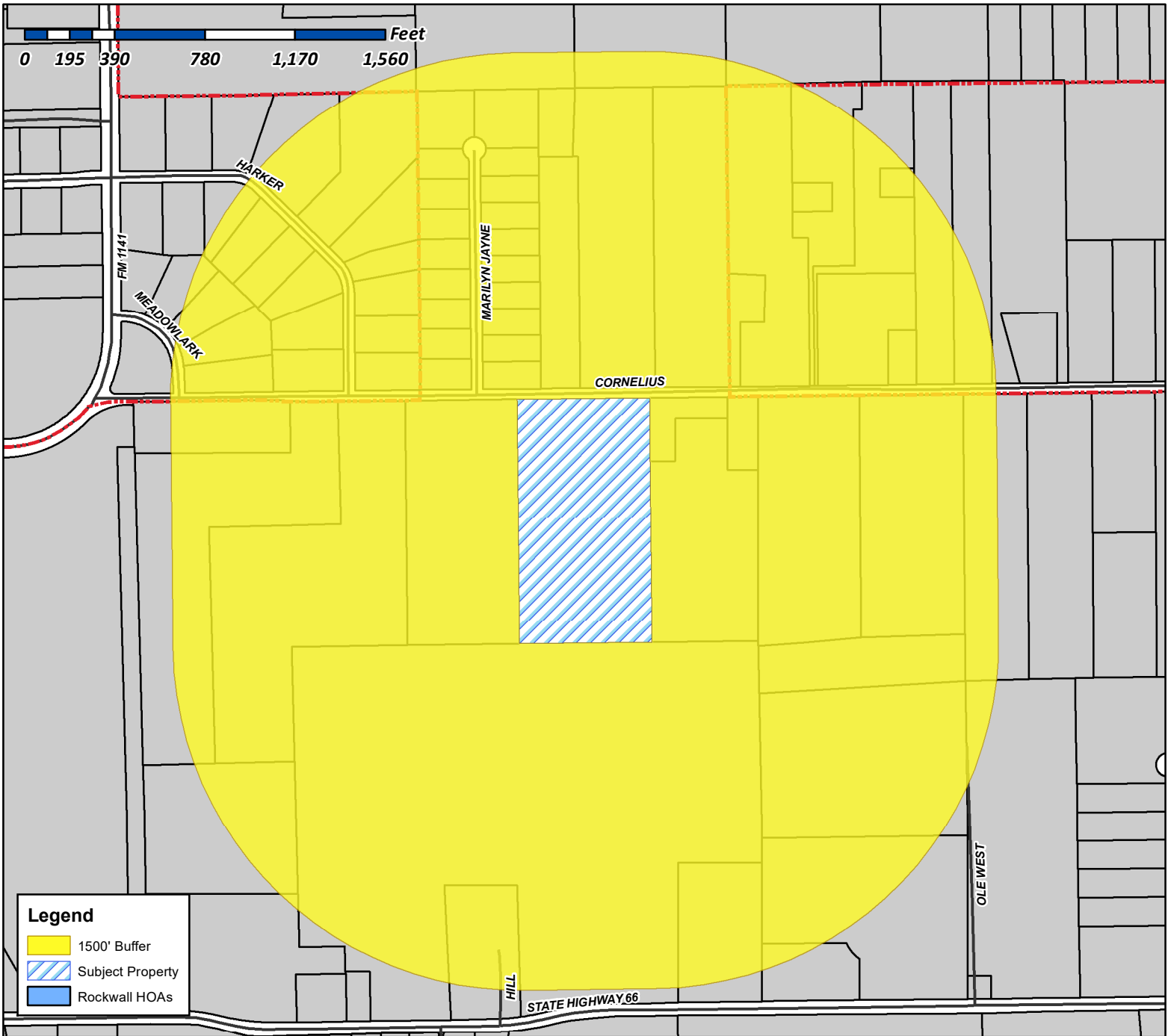
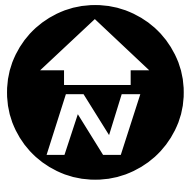




City of Rockwall

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Rockwall, Texas 75087
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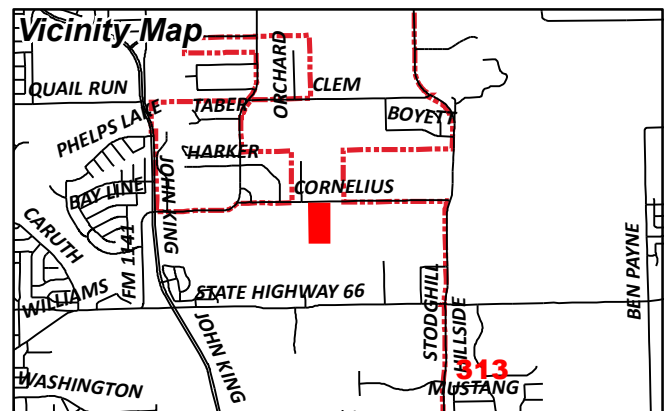
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- Legend**
- 1500' Buffer
 - Subject Property
 - Rockwall HOAs

Case Number: Z2021-047
Case Name: SUP for Animal Shelter/Loafing Shed
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 555 Cornelius Road

Date Created: 10/21/2021
For Questions on this Case Call (972) 771-7745

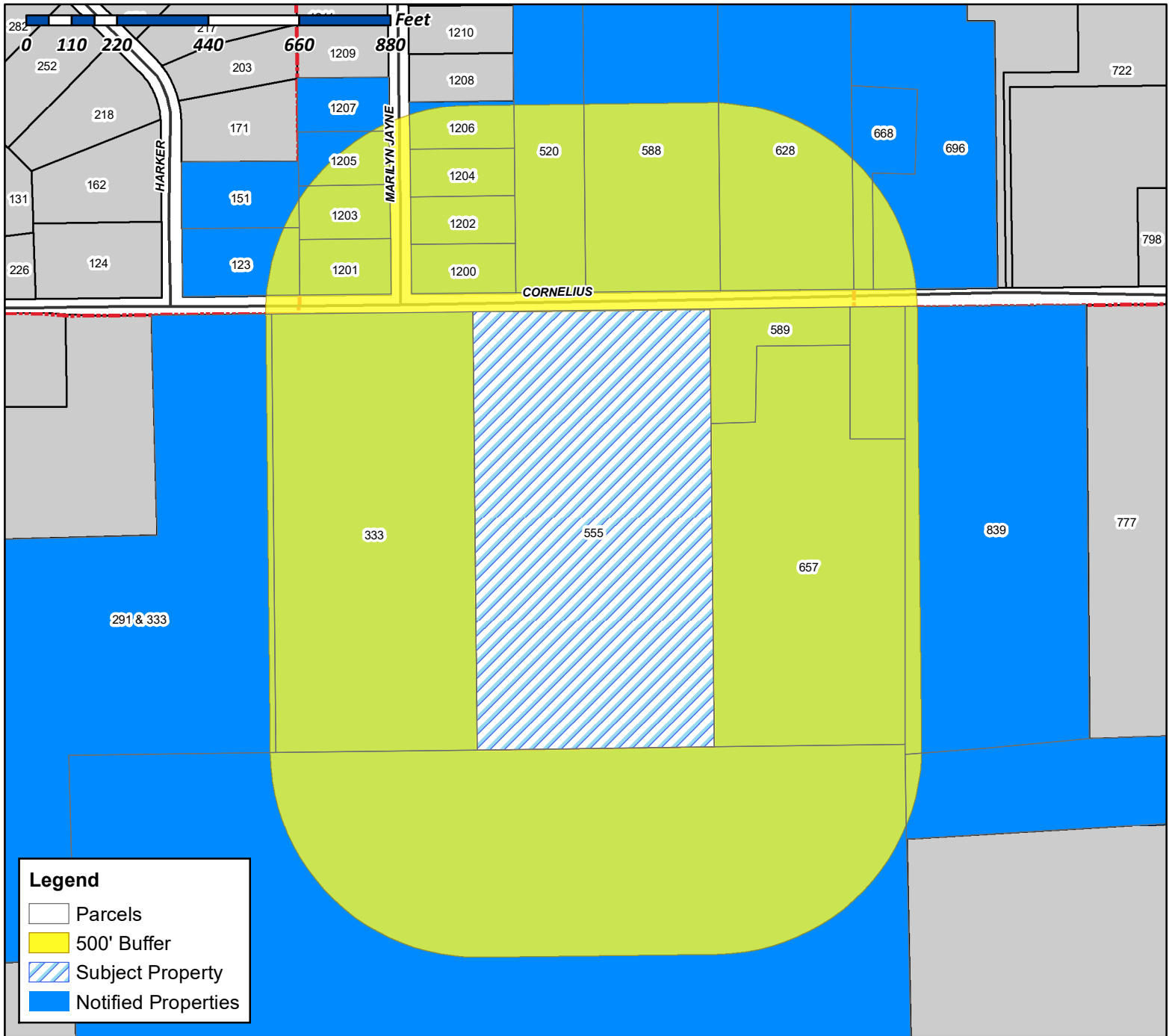




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THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST
RANDY SCOTT WILSON AND KAY MARIE
WILSON- CO TRUSTEES
1201 MARILYN JAYNE
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

SMITH DANIEL T
1203 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES DAVID L
1205 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

CANTRELL CARL DEAN
1207 MARILYN JAYNE DR
ROCKWALL, TX 75087

RESIDENT
123 HARKER TRAIL
ROCKWALL, TX 75087

RESIDENT
151 HARKER TRAIL
ROCKWALL, TX 75087

PEOPLES MIKE
291 & 333 CORNELIUS
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC
3040 POST OAK BLVD SUITE 300
HOUSTON, TX 77056

E V S R (D) LLC
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

ROCKWALL RV PARK AND TINY HOME VILLAGE
3094 COUNTY ROAD 1024
FARMERSVILLE, TX 75442

PEOPLES MIKE
333 CORNELIUS RD
ROCKWALL, TX 75087

GRAVES BRYAN J AND LAUREN C
406 MUNSON ST
ROCKWALL, TX 75087

GRAVES BRYAN J AND LAUREN C
520 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES MIKE
555 CORNELIUS RD
ROCKWALL, TX 75087

ROCKWALL RV PARK AND TINY HOME VILLAGE
588 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA
628 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
657 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
668 CORNELIUS ROAD
ROCKWALL, TX 75087

E V S R (D) LLC
839 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-047: SUP for an Animal Shelter/Loafing Shed

Hold a public hearing to discuss and consider a request by Andrea Danley on behalf of Mike Peoples for the approval of a Specific Use Permit (SUP) for an Animal Shelter/Loafing Shed on a 14.219-acre tract of land identified as Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-047: SUP for an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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Case No. Z2021-047: SUP for an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

IT CAN'T LOOK WORSE THAN WHAT'S THERE NOW

Name: DEWAYNE CAIN
Address: 305 STONEBRIDGE DR.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Hold a public hearing to discuss and consider a request by Andrea Danley on behalf of Mike Peoples for the approval of a Specific Use Permit (SUP) for an Animal Shelter/Loafing Shed on a 14.219-acre tract of land identified as Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-047: SUP for an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: **EVSR(D) LLC**
Address: **305 STONEBRIDGE DR.**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2021-047: SUP for an Animal Shelter/Loafing Shed

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We have known this family many years, and they are amazing neighbors!

Name: Steve & Sharon Thomas

Address: 1200 Marilyn Jayne

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

10-15-21

City of Rockwall / To Whom It May Concern,

I am writing into regards of wanting to build a barn on Cornelius Road in Rockwall. There is already a barn in place, but it is old and falling down. I have two daughters in the Rockwall County 4H, that show livestock. In order for my girls to continue working with their cows we are in need of a barn. It would be very helpful to us in order to build a barn for them to keep working with, learning, and helping them grow with their cows. If you have any other questions please feel free to call me. Thank you.

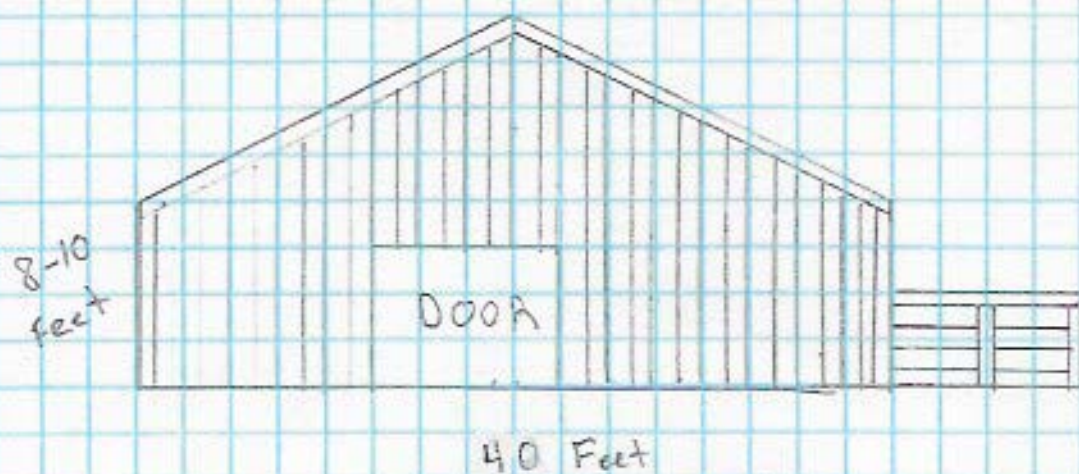
Andrea Donly
972-880-8245





[Sent from Yahoo Mail on Android](#)

FRONT

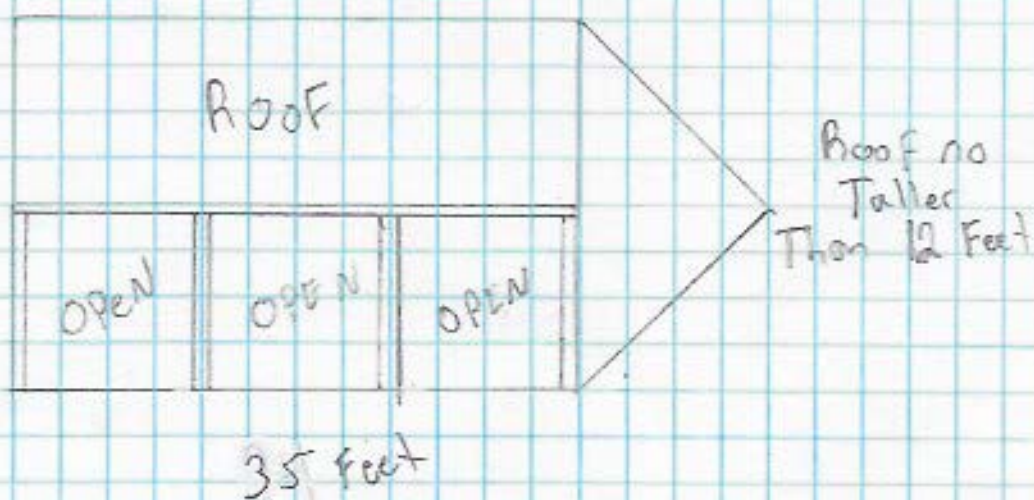


Metal A-Panel
Roof and Sides



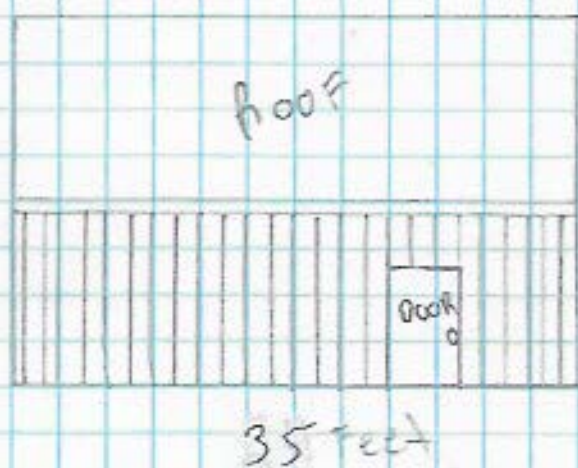
wash area
dry area
feed room
Small hay storage

West Side



Metal A-Panel
Roof and Sides

East Side



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *ANIMAL SHELTER OR LOAFING SHED* ON A 14.219-ACRE TRACT OF LAND, IDENTIFIED AS TRACT 10-03 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Andrea Danley on behalf of Mike Peoples for the approval of a Specific Use Permit (SUP) to allow an *Animal Shelter or Loafing Shed* on a 14.219-acre tract of land described as Tract 10-03 of the William Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 555 Cornelius Road, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Animal Shelter or Loafing Shed* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and as may be amended in the future* --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Animal Shelter or Loafing Shed* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Animal Shelter or Loafing Shed* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B & 'C'* of this ordinance.
- (2) The applicant shall pull a demolition permit through the Building Inspection Department prior to removing the existing *Barn or Agricultural Accessory Structure*.
- (3) The *Animal Shelter or Loafing Shed* shall not exceed a maximum size of 1,400 SF.
- (4) The *Animal Shelter or Loafing Shed* shall not exceed a maximum height of 15-feet.
- (5) The *Animal Shelter or Loafing Shed* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

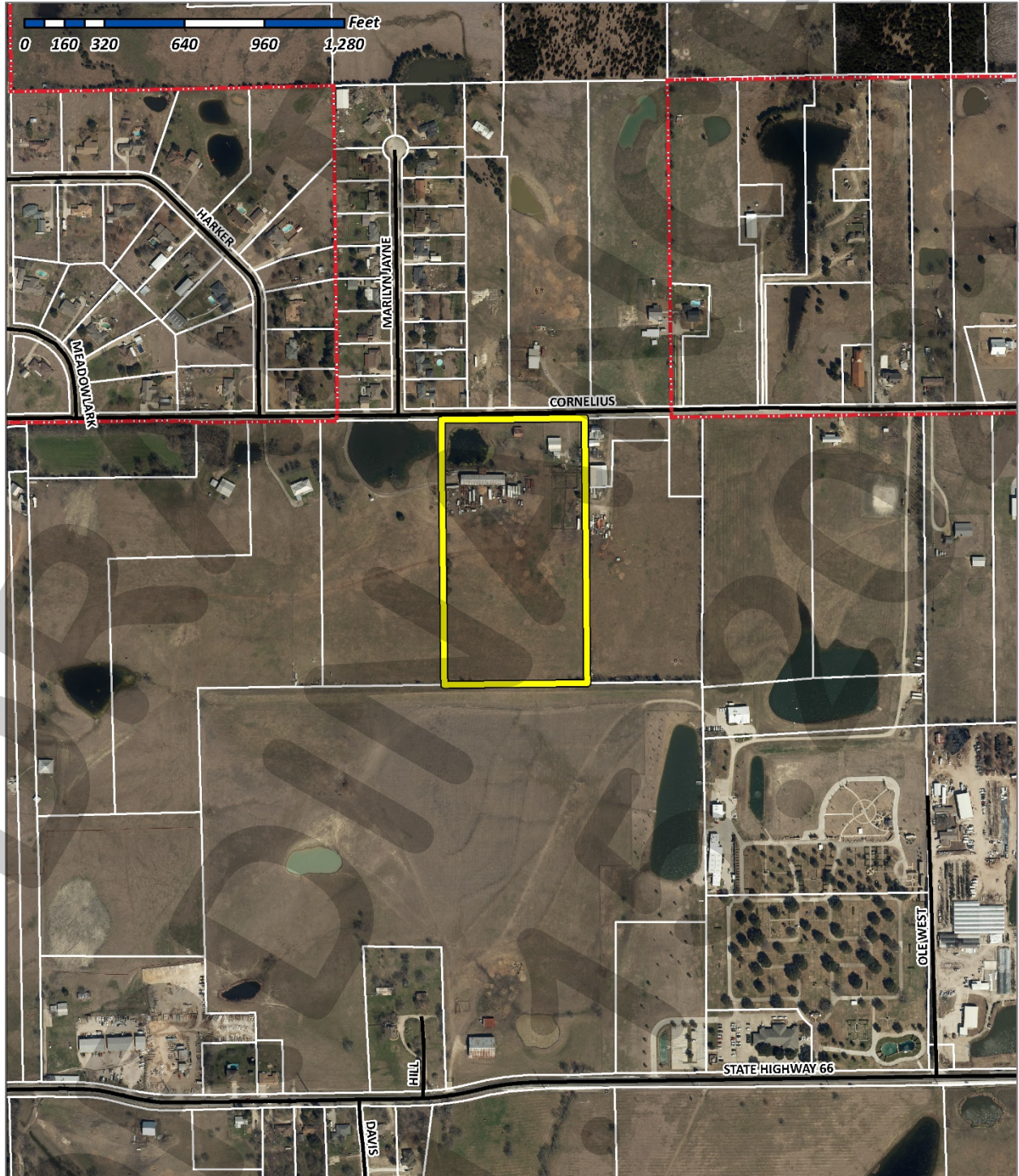
1st Reading: November 15, 2021

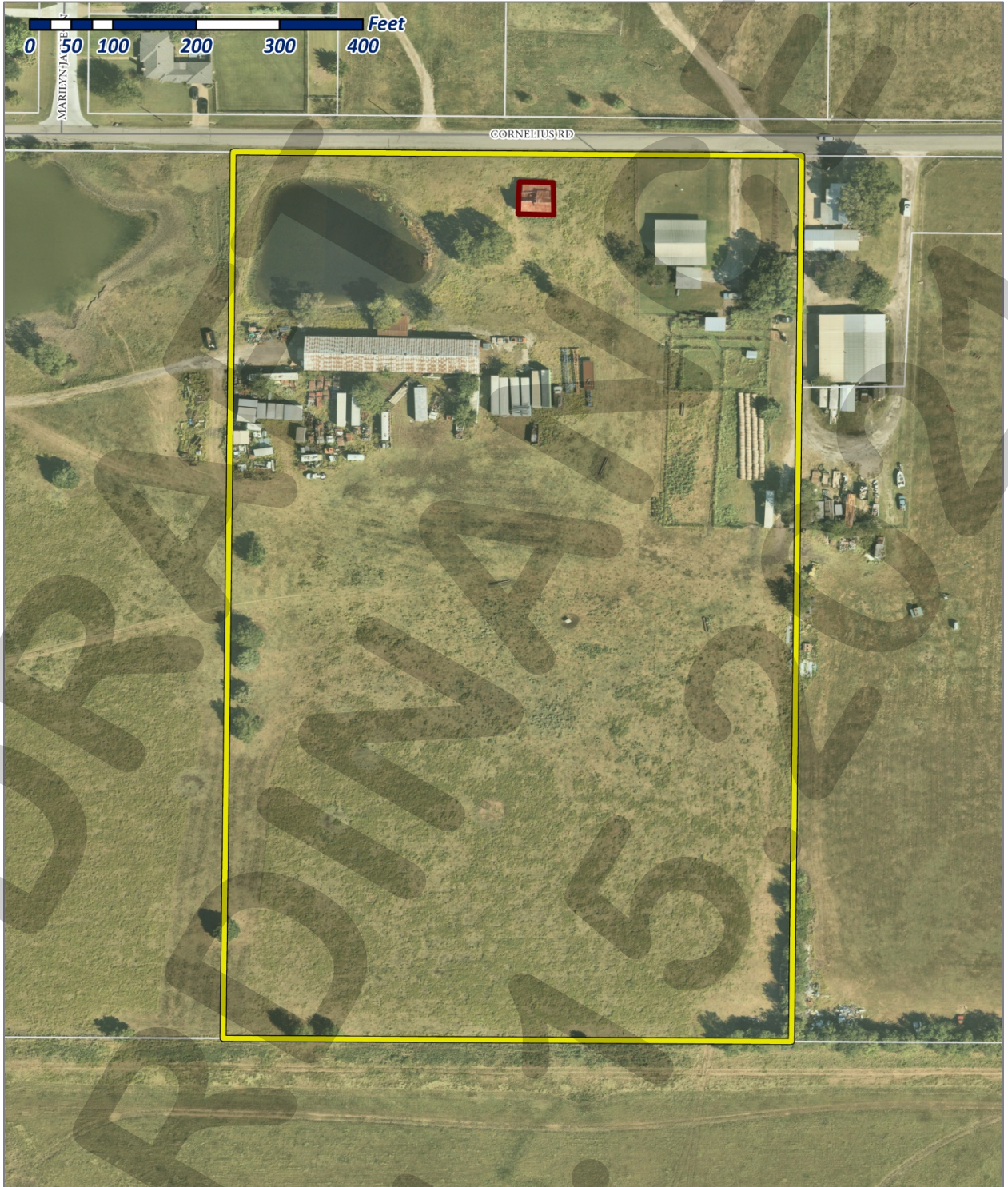
2nd Reading: December 6, 2021

DRAFT
ORDINANCE
17.15.2021

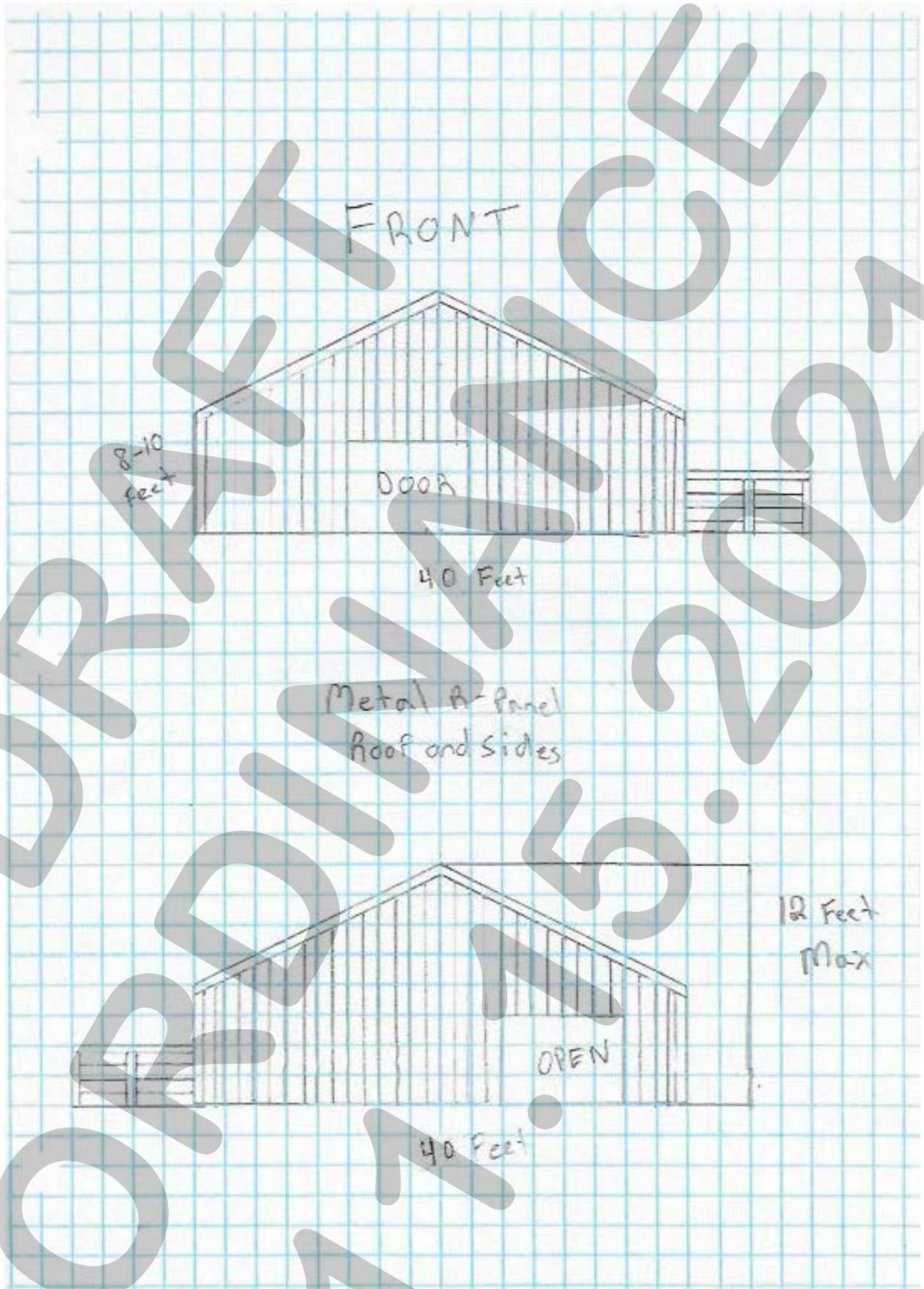
Address: 555 Cornelius Road

Legal Description: Tract 10-03 of the W. M. Dalton Survey, Abstract No. 72

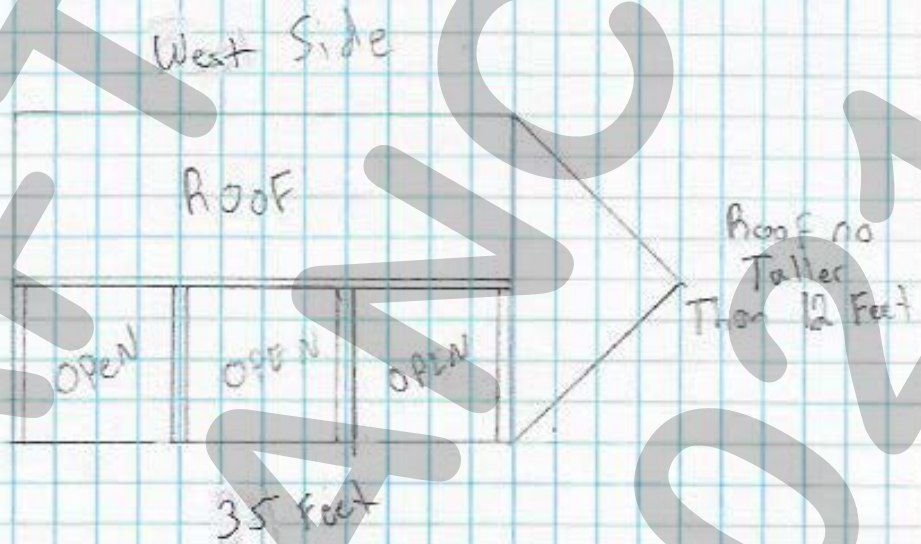




YELLOW: SUBJECT PROPERTY; **RED:** LOCATION OF EXISTING AND PROPOSED AGRICULTURAL ACCESSORY STRUCTURE

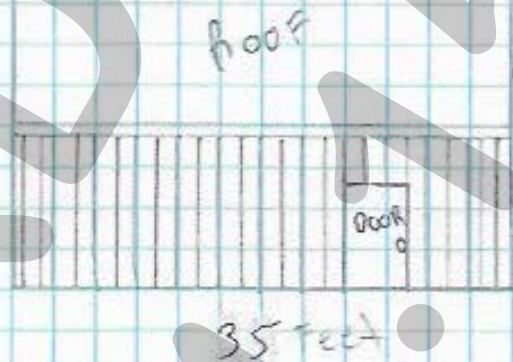


wash area
dry area
feed room
Small hay storage



Metal R-Panel
Roof and Sides

East Side





MEMORANDUM

TO: Mary Smith, City Manager

CC: Honorable Mayor and City Council

FROM: Kristy Cole, City Secretary/Asst. to the City Manager

DATE: November 15, 2021

SUBJECT: **BOARDS & COMMISSIONS**

Attachments

Summary/Background Information

Rick Carrol on the REDC is 'termining out' this December on the Rockwall Economic Development Corporation (REDC) Board of Directors. In addition, board members Rick Johnson and Matthew Neyland are both eligible for reappointment to the REDC for an additional two-year term.

Furthermore, Architectural Review Board (ARB) member, Lindsay Mitchell recently resigned because she moved out of the city. A replacement is needed to finish out her term thru Aug. of 2022.

Action Needed